
TO: Board of Adjustment
FROM: Land Use Management
MEETING DATE: July 28th, 2025
REPORT DATE: July 18th, 2025

PUBLIC HEARING: Request for Variance to Mineral Extraction Facilities for Dwelling Setbacks

Request for Variance, submitted by Savannah Carlson (Owner) to allow a dwelling to be located less than 1,000 feet, but not closer than 300 feet from a Mineral Extraction Facilities property boundaries at the surface and their vertical extensions below the surface. The parcels are zoned A-2. Parcels 32.015.2400 & 32.015.2402. Along 306th Street, Frontenac MN, 55026. Part of the E1/2 of the NE1/4 of Sec 15 Twp 112 Range 13 in Florence Township.

Application Information:

Applicant(s): Savannah Carlson (Owner)

Address of zoning request: Along 306th Street, Frontenac MN 55026

Parcel: 32.015.2400 & 32.015.2402

Abbreviated Legal Description: Part of the E1/2 of the NE1/4 of Sec 15 Twp 112 Range 13 in Florence Township.

Township: Florence Township has signed the variance application with no additional comments.

Zoning District: A-2 (Agricultural Protection)

Attachments:

Application

Site Map(s)

Goodhue County Zoning Ordinance: [zoning_ordinance.pdf \(goodhuecountymn.gov\)](#)

Background:

Savannah Carlson (Owner) has applied for a variance to Article 14 Section 6 Application Requirements of the Mineral Extraction Ordinance to allow a dwelling to be located less than 1,000 feet, but no closer than 300 feet from the Mineral Extraction Facilities property boundaries. Carlson has also applied for a zoning change from A-2 to R-1 for parcels 32.015.2400 and 32.015.2402. This came before the Planning Advisory Commission on July 21st.

Variance Standards:

Variances shall only be permitted when they are in harmony with the general purposes and intent of the Goodhue County Zoning Ordinance and when consistent with the adopted comprehensive plan. Variances may be granted when the applicant establishes that “practical difficulties” exist in complying with the existing official controls. Practical difficulties mean the applicant proposes to use the property in a reasonable manner not permitted by an official control, the plight of the landowner is due to

circumstances unique to the property not created by the landowner, and the variance, if granted, will not alter the essential character of the locality. Economic considerations alone do not constitute practical difficulties.

Draft Findings of Fact:

1) Harmony with the general purposes and intent of the official control:

- The setback requirements between Mineral Extraction Facilities and dwellings is to prevent or minimize environmental and aesthetic impacts on extracted properties, adjacent properties and the County as a whole.
- The property consists of two parcels containing approximately 4.81 acres. The minimum lot size in the A-2 District is 2 acres. This parcel was one parcel until it was split in 2022.
- The applicant wants to construct a dwelling on parcel 32.015.2400. The setback distance between dwellings and mineral extraction facilities is 1,000 feet. It can be reduced to 300 feet upon written agreement between the mine owner/operator and the adjacent property owner.
- The Mineral Extraction Facility was first registered in 2003.
- This request is **not** in harmony with the purpose and intent of the official control.

2) The variance request is consistent with the adopted Comprehensive Plan:

- The Goodhue County Comprehensive Plan supports the development and use of the A-2 District within the County.

The proposed use appears consistent with the Goodhue County Comprehensive Plan.

3) There are “practical difficulties” in complying with the official control (the applicant proposes to use the property in a reasonable manner not permitted by an official control, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, will not alter the essential character of the locality):

- The Applicant’s request to construct a dwelling is a reasonable use of property in the A-2 District.
- New dwellings need to be set back 1,000 feet from the boundaries of Mineral Extraction Facilities. The setback may be reduced to 300 feet upon written consent from either the mine landowner or operator. The Mine landowner has submitted a letter stating they do not want any new dwellings within 1,000 feet.
- Parcels zoned A-2 have a Right-of-Way setback of 60 feet for structures. If the parcels are rezoned to R-1 (Residential), the ROW setback is 40 feet.
- Section 15 is zoned A-2 and has a maximum dwelling density of 12 dwellings per section. The dwelling density is currently at 14 dwellings. If the parcels are rezoned to R-1, the section density doesn’t apply.

- The request appears unlikely to alter the essential character of the locality.
- 4) **No variance may be granted that would allow any use that is not allowed in the zoning district in which the subject property is located.**
- Dwellings are permitted use in the A-2 Zoning District.

The draft Findings of Fact shall be amended to reflect concerns conveyed at the Board of Adjustment meeting and public hearing. The Board should specify the facts and reasons that are the basis of the Board's determination. In granting a variance, the Board of Adjustment may impose conditions related to, and bearing a rough proportionality with, the impact(s) created by the variance.

Staff Recommendation:

Staff recommends the BOA:

- adopt the staff report into the record;
- adopt the findings of fact;
- accept the application, testimony, exhibits, and other evidence presented into the record; and

Deny the request for a variance, submitted by Savannah Carlson (Owner) to allow a dwelling to be located less than 1,000 feet, but not closer than 300 feet from a Mineral Extraction Facilities property boundaries at the surface and their vertical extensions below the surface.



RECEIVED

JUN 18 2025

Variance Land Use Management

For Staff Use Only	
Permit #	7-25-0030
\$400 Receipt #	3166981391
DATE:	6/17/25

SITE ADDRESS, CITY, AND STATE		ZIP CODE	
306th St Frontenac, Minnesota		55026	
LEGAL DESCRIPTION:			
SECT 15 TWP-112 Range-012 2.00 ac DOC# 648021 Pt of 1/2 of NE 1/4			
FID#	ZONING DISTRICT	LOT AREA (SF/ACRES)	LOT DIMENSIONS:
380152402 320152400	A2	4.81 acres	
		STRUCTURE DIMENSIONS (if applicable):	

APPLICANT OR AUTHORIZED AGENT'S NAME	
Savannah Carison	
APPLICANT'S ADDRESS:	TELEPHONE:
10221 Grand Oaks Trl	
Woodbury MN 55129	
	EMAIL:

PROPERTY OWNER'S NAME:	
Same as Above <input checked="" type="checkbox"/>	
PROPERTY OWNER'S ADDRESS:	TELEPHONE:
	EMAIL:

CONTACT FOR PROJECT INFORMATION:	
Same as Above <input checked="" type="checkbox"/>	
ADDRESS:	TELEPHONE:
	EMAIL:

VARIANCE REQUESTED TO: (check all that apply) <input type="checkbox"/> Road Right-Of-Way Setbacks <input type="checkbox"/> % Lot Coverage <input type="checkbox"/> Property Line Setbacks <input type="checkbox"/> Bluff Setbacks <input type="checkbox"/> Height Limits <input type="checkbox"/> Shoreland Setbacks <input type="checkbox"/> Lot Width &/or Area <input checked="" type="checkbox"/> Other (specify) <input type="checkbox"/> Subdivision Regulations	CURRENT OR PREVIOUS USE: Vacant	
	PROPOSED USE: Residential	
	BUILDING APPLICATION PERMIT NO.: (if filed)	DATE FILED:


TOWNSHIP SIGNATURE:		
By signing this form, the Township acknowledges they are aware of the Applicant's variance request. In no way does signing this application indicate the Township's position on the variance request.		
TOWNSHIP OFFICIAL'S SIGNATURE	TOWNSHIP OFFICIAL'S PRINTED NAME AND TITLE	DATE

By signing below, the applicant acknowledges:

1. The undersigned is the owner or authorized agent of the owner of this property.
2. The information presented is true and correct to the best of my knowledge.
3. If I am unable to be present at the hearing where my request is acted upon, I agree to accept the Notice of Decision via mail.
4. Additional information or applications may be required

Applicant's Signature:

Date: 6/16/25

As noted  Frances P. Dushy Chair 6/16/2025



Variance Application

509 W 5th Street
Red Wing, MN 55066

****Applicants are highly encouraged to discuss their proposed application with Land Use Management Department staff prior to submission. Please call (651) 385-3104 for assistance****

WHAT IS A VARIANCE?

A variance is a request to allow the use of property in manner otherwise prohibited by ordinance by varying one or more requirements such as the size, design, and siting of buildings and lots. Variances are meant to be an infrequent remedy for situations where the unique physical characteristics of a property impose a substantial burden to reasonable use under the plain and literal interpretation of the ordinances.

FINDINGS FOR VARIANCES:

In reviewing all variance requests, the Board of Adjustment shall specify "Findings of Fact" in each case which evaluates the request for conformance with the variance standards. In conformance with Minnesota State Statute § 394.27 the Board of Adjustment may only grant variances when it finds the request meet the following criteria:

- Harmony with the general purposes and intent of the official controls
- Consistent with the comprehensive plan,
- The applicant has established "practical difficulties" exist in complying with the official controls. "Practical difficulties," as it pertains to variances, means the applicant proposes to use the property in a reasonable manner not permitted by an official control, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, will not alter the essential character of the locality. Economic considerations alone do not constitute "practical difficulties."
- The variance would not allow any use that is not allowed in the applicable zoning district

In order to grant a variance, a majority of the Board of Adjustment must find that all of the above criteria have been satisfied. In granting a request, the Board may impose conditions directly related to and bearing a rough proportionality with the potential impacts created by the variance approval.

APPLICATION:

The following items must be received by the Land Use Management Department for a variance application to be considered complete:

- ☒ Completed variance application form & supporting documentation
- ☒ Signature of property owner, agent, or letter of authorization
- ☒ Township signature of acknowledgment
- ☒ Site plan
- ☒ Property survey by a MN Licensed Surveyor (unless waived by Zoning Administrator)
- ☒ Proof of current property taxes
- ☒ Additional items as required by the Zoning Administrator
- ☒ Required Fees (\$400.00)

REVIEW PROCESS:

Upon receipt of a complete application, staff will schedule a Board of Adjustment hearing to consider the variance request. Notice of the public hearing will be provided to the official County paper, affected state agencies, all property owners within 500 feet of the Applicant's parcel (minimum of 10), the local Township, and all municipalities within 2 miles. BOA meetings are typically held the 4th Monday of every month.

APPEAL RIGHTS:

In accordance with Goodhue County Zoning Ordinance Article 5, an aggrieved person may appeal a Board of Adjustment decision with the Goodhue County District Court within thirty (30) days.

REQUEST SUMMARY

Please cite the Ordinance Article(s) and Section(s) you are requesting a variance from:

Article: 14 Section: 6 Name: Application Requirements

Article: _____ Section: _____ Name: _____

SUPPORTING INFORMATION & JUSTIFICATION

You, or your agent, bear the burden of providing information to convince the Board to rule in your favor. Please provide answers to the following questions in the spaces below or in an attached document. You may also attach any additional supporting documentation you desire the board to review.

Discuss your current use of the property and the reason for your variance request:

Property is currently vacant. Would like to build a home on parcel #320152400. Property was sold to me as parcel 320152402 A2, & parcel 320152400 B1. Goodhue County does not have it zoned that way. I was under the impression lot was buildable. Would like to reduce to 300 ft.

Describe the effects on the property if the variance is not granted:

Land will remain vacant & useless to me.

Describe any unique physical limitations that exist on your property, not generally found on others, which prevent you from complying with the provisions of the current ordinance:

N/A ?

Discuss alternatives you considered that comply with existing standards. If compliant alternatives exist, provide your reasoning for rejecting them:

Contacted gravel pit owners for permission to reduce to 300ft. was denied.

Discuss alternatives you considered that would require a lesser variance. If you rejected such alternatives, provide your reasoning:

considered purchasing property on Royal Ct, but would prefer to live on the property I've already purchased

In your opinion, do you think the granting of your variance request would alter the "essential character" of the neighborhood/area?:

NO. There are many other homes in the area & more being constructed.

Additional info on Back. →

Property was sold to me as R1 & A2.

No vacant land disclosure was given to me.

Nine owners denied permission to build.

If denied, my only option for property is legal.

The property is too small for crops or livestock,
I live too far away to stay where I am and use
the property.

Purchasing a nearby lot is ^{not} an option, ^{as} ~~but~~ I have
already purchased this lot with the intentions &
understanding that I could build on it. And no
longer have funds for down payment

I am simultaneously applying for a zoning
change to parcel 320152400.

10:30



purchase agreement

Done

353. What zoning regulations apply to the property? What zoning regulations are
354. filed with the county recorder in each county where the zoned area is located. If you would like to determine if such
355. zoning regulations affect the Property, you should contact the county recorder where the zoned area is located.

35. **9 of 13** **STORY OFFENDER INFORMATION:** Information regarding the predatory offender
35. erred with the predatory offender registry under MN Statute 243.165 may be
35. local law enforcement offices in the community where the Property is located
358. or the Minnesota Department of Corrections at (651) 361-7200, or from the Department of Corrections web
359. site at <https://dorms.doc.state.mn.us/publicregistrantsearch>.

MREPA-VL-9 (3/24)



Document ID: 38834473 E847 EP11 MP9 002/402642

**PURCHASE AGREEMENT:
VACANT LAND (RESIDENTIAL)**

360. Page 9 Date February 20th 2025

361. Property located at 306th Street Frontenac 55026

362. **SPECIAL DISCLOSURES:** Seller discloses, to the best of Seller's knowledge, that the Property described in this

363. Purchase Agreement consists of approximately 4.81 ACRES SQUARE FEET and is currently zoned

364. by local ordinance to 2.0-acre (Parcel B) and the designated Rural Parcel to 2.0-acre (Parcel C) being sold together.

365. Seller discloses, to the best of Seller's knowledge, that the Property IS NOT in a designated flood zone.

366. Seller discloses, to the best of Seller's knowledge, that the Property DOES DOES NOT currently receive

367. preferential tax treatment (e.g. Green Acres, Managed Forest Land, Non-Profit Status, Rural Preserve, SFA, etc.).

368. Seller discloses, to the best of Seller's knowledge, that the Property IS NOT enrolled in any federal, state, or

369. local governmental programs (e.g., conservation programs, CREP, CRP, EQIP, Green Acres, Managed Forest Land,

370. RIM, riparian buffers, Rural Preserve, SFA, WRP/RIM-WRP, etc.).

371. **BUYER HAS THE RIGHT TO A WALK-THROUGH REVIEW OF THE PROPERTY PRIOR TO CLOSING TO**372. **ESTABLISH THAT THE PROPERTY IS IN SUBSTANTIALLY THE SAME CONDITION AS OF THE DATE OF THIS**373. **PURCHASE AGREEMENT.**374. **BUYER HAS RECEIVED A:** (Check any that apply.) ☒ DISCLOSURE STATEMENT: VACANT LAND OR A375. ☐ DISCLOSURE STATEMENT: SELLER'S DISCLOSURE ALTERNATIVES FORM.376. **DESCRIPTION OF PROPERTY CONDITION:** See Disclosure Statement: Vacant Land or Disclosure Statement:

377. Seller's Disclosure Alternatives for description of disclosure responsibilities and limitations, if any.

378. **BUYER HAS RECEIVED THE INSPECTION REPORTS, IF REQUIRED BY MUNICIPALITY.**379. **BUYER IS NOT RELYING ON ANY ORAL REPRESENTATIONS REGARDING THE CONDITION OF THE PROPERTY.**380. **PLEASE NOTE:** Buyer may incur additional charges improving the Property, including, but not limited to, hookup and/

381. or access charges; municipal charges; costs for sewer access, stubbing access, water access, park dedication, road

382. access, curb cuts, utility connection and connecting fees; and tree planting charges.

383. (Check appropriate boxes.)

384. **SELLER WARRANTS THAT THE PROPERTY IS EITHER DIRECTLY OR INDIRECTLY CONNECTED TO:**385. **CITY SEWER** ☐ YES ☒ NO / **CITY WATER** ☐ YES ☒ NO386. **SUBSURFACE SEWAGE TREATMENT SYSTEM**387. **SELLER** ☐ DOES ☒ DOES NOT KNOW OF A SUBSURFACE SEWAGE TREATMENT SYSTEM ON OR388. **SERVING THE PROPERTY.** (If answer is DOES, and the system does not require a state permit, see Disclosure389. **Statement: Subsurface Sewage Treatment System.)**390. **PRIVATE WELL**391. **SELLER** ☐ DOES ☒ DOES NOT KNOW OF A WELL ON OR SERVING THE PROPERTY.

392. (If answer is DOES and well is located on the Property, see Disclosure Statement: Well.)

393. **TO THE BEST OF SELLER'S KNOWLEDGE, THE PROPERTY** ☐ IS ☒ IS NOT IN A SPECIAL WELL394. **CONSTRUCTION AREA.**395. **THIS PURCHASE AGREEMENT** ☐ IS ☒ IS NOT SUBJECT TO AN ADDENDUM TO PURCHASE AGREEMENT:396. **SUBSURFACE SEWAGE TREATMENT SYSTEM AND WELL INSPECTION CONTINGENCY.**

397. (If answer is IS, see attached Addendum.)

398. **IF A WELL OR SUBSURFACE SEWAGE TREATMENT SYSTEM EXISTS ON THE PROPERTY, BUYER HAS**399. **RECEIVED A DISCLOSURE STATEMENT: WELL AND/OR A DISCLOSURE STATEMENT: SUBSURFACE**400. **SEWAGE TREATMENT SYSTEM.**

MREPA-VL-9 (3/24)



Document ID: 38834473 E847 EP11 MP9 002/402642

**PURCHASE AGREEMENT:
VACANT LAND (RESIDENTIAL)**

401. Page 10 Date February 20th 2025

402. Property located at 306th Street Frontenac 55026



12:27

5G

FLORENCE TOWNSHIP

4. PID - Hill Avenue - Sven Fleishacker. Contingent on reapplying to Goodhue County for a building permit, for consistency with Florence Township. A1 Zone. 20 feet to the closest bluff in building. Confirms to A1 and accessory dwelling.

2 of 3

- To check in with the county and clarify what the use is and what is required for Vote to listen, Bill and Heidi for Wendy and Ed against.

Preliminary Reviews or Inquiries / Violations
 • Inquiries: Mickel and Carol Gardner
 • Inquiries: Darin Bruns - above ground swimming pool

Motion to remove from table the STR - ordinance for discussion.

GOAL to identify items of agreement - QUESTIONS FOR ATTORNEY

1. Home based business - rental - question how to apply to ordinance
2. Definition of Family - must be done - or eliminate requirement to rent only to a family?
3. Please clarify purpose of this requirement.

Request for Heidi to clarify - her position on conflict of interest. Heidi does not know if she will vote, but is not recusing herself at this time, and will be participating in discussion.

Discussion notes - questions and comments

Section 1 - Purpose - Value statements. Add to this To allow a limited number of residences to be consistent with existing zoning, and mitigating impacts on neighbors and community...

Definitions - section 2 -

1. Short term rental property - three or fewer bedrooms (consistent with Bysee recommendations; arguments against).
2. Designed for one family - ?? See question for attorney above

Authorization discussion points - Length of IUP, for a period of 1 year, review, fee (for enforcement), Once very two years, could be called in if in violation.

Cathy - if its annual review is it a public hearing, notice to neighbors?

Fee for an IUP?

10 in Florence - no more than 5 in the historic district? - or is it a distance issue.

Property manager within so many miles.

A new short term rental property will need to apply. Who is grandfathered?

Clarity on status of each existing/type of STR

All existing non-conforming STRs to apply under new ordinance. And what they need to reapply

New Business

• PUBLIC HEARING: Variance - 35522 Pepin Vista Ave Request, submitted by Mason Grobe to apply for a Variance to allow for a garage addition within the required bluffland setback. Parcel 32.035.1300. 35522 Pepin Vista Ave, Lake City, Minnesota 55401. Agriculture Zoned District

• ALMQUIST REZONE REQUEST: Rezone from A-2 to R-1. The applicant has gone through the lot split process through the county and would like to rezone one of the parcels. A public hearing should be noticed and scheduled for June's Planning Commission Meeting.

Old Business

• VILLA MARIA CONDITIONAL USE PERMIT: The letter from the Township Board of Supervisors was

florencetwp.org



12:31

5G

1 of 3

07-18-2022

Florence Township Regular Monthly Meeting

The Meeting was called to order at 6:00. The clerk read the minutes of the last meeting. There was a motion made and second to approve as read. The motion passed. The treasurer's report is as follows: A beginning checking and money market balance of \$681,850.89, receipts of \$18,159.26, disbursements of \$57,830.10 for a checking and money market balance of \$ 642,180.05. There was a motion made and second to approve as presented. The motion passed.

Parks-Wakondiotia play Park still set for mid-September. The pickle ball court has been discontinued. The trees are still down on the beach and Wakondiotia. If someone wants to cut it, they can but must sign a PAA and a waiver. Valhalla Park is in phase three. We will send a letter to the people that donated for the pickle ball court and see if they would be willing to make the donations to the park fund instead of strictly a pickle ball court.

Zoning- The Almquist rezone 2.808 acres from Ag to Residential. There was a motion made and second to approve the rezone of parcel #32.015.2400. The motion passed. Almquist and Groth dedicate a roadway and utility easement to the public. There was a motion made and second to approve the roadway and utility easement dedication. The motion passed.

Our second hearing was the CUP for John Rupp. Motion made and second to approve the CUP for the Villa Maria. The motion passed.

Fassbinder build new home at 30534 Wild Turkey Court. Motion made and second to approve. Motion passed.

Dan Stacker build a deck at 29308 Lake Avenue way. There was a motion made and second to approve as presented. The motion passed.

Leroy Otto- review of change of plan for non- conforming lot which has been approved by the county. He removed the original cottage. There was a motion made and second to approve the change. The motion passed.

We had a discussion with Tom Johnson about the old school house. He would like to have some assurance that the lot is buildable. There would need to be a variance on bluff setbacks.

Jody made a new webpage for the permitting process. Joe will start taking building permits.

HPC -We have a building permit from Dick and Kathy Herron at 29226 Van Blaricum. This needs to go to the planning commission. The county will not look at Locust Lodge because it is not inhabited. We approved our new bylaws and we got a new flag for the Town Hall.

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12:29

5G

1 of 3

Florence Township Planning Commission Minutes July 11th, 2022

6:00 PM Call to Order

Present: Bill Bruce, Vice Chair – presiding, Kristen Elde-Tollefson, Secretary, Heidi Hartzell, Ryan Langhans, Joe Ellingson, Board Liaison. Absent: Ed Hruska, Wendy Albers Scofield.

- Pledge of Allegiance
- Review and Approval of June Minutes Ryan moves, Heidi seconds • Open comment period - no comments

MSA Update/ Preliminary Reviews or Inquiries / Violations/ Zoning Reviews of Permits

1. Almquist Rezone Request – Public Hearing Vice chair reads staff report, Almquist explains:

- Purpose of the rezoning is to create compatibility with the surrounding R1 development and allow the property to become residential.
- The road adoption decision will be passed directly to the board 6:10 the hearing is closed.

Motion to accept the application and adopt staff report and findings to recommend to the town board for approval – Kristen moves, Ryan seconds

2. Villa Maria Ventures Conditional Use Permit – Public Hearing (page 10)

Vice Chair reads the staff report, description of the project and shows it on the screen Public Comments:

Jean Pontzer – 3966 Lake Avenue

Asking about lighting, noise and events – music event

Rupp: Noise ordinance will be followed; we'll live and die on being a good neighbor.

Jeff Bolin – concern about boat traffic. It's a fishing boat launch, we are getting parking along Garrard of trucks. Can you put into your information that it is for fishing boats, not pleasure craft. Speed of people going down to the launch – it is supposed to be 10 miles an hour on Garrard. Requests that guest be given guidelines on use of public launch etc.

Rupp: Something can be incorporated.

Jim Anderson – Winona St. It looks like things are being addressed. My biggest concern will be lighting and noise. As we go forward I know he has good intentions, but for us this is a pastoral place and we want to keep it that way. I'm glad you are doing what you are doing. I just don't want these things lost

Rupp: My marketing pitch is compatible with this [these values]

Ross Lundstrom (S. Lake Ave) – what happens when you sell the place, and the next person comes in – what happens then. They buy subject to the conditions of the CUP. Say they decide to run an entertainment venue.

Rupp - It is somewhat restrictive. There are local ordinances too, that would have to be obeyed. There is another ordinance, you could create, if there is a concern. You have an existing large event ordinance. We have had Chamber Orchestra, usually very limited in time. We aren't there yet. But I wanted to make sure that I noted that a music venue or festival (4-7 days) is

florencetwp.org



10:30

5G



purchase agreement

Done

352. What zoning regulations suggested by the governing body that may affect the Property? Check zoning regulations are filed with the county recorder in each county where the zoned area is located. If you would like to determine if such zoning regulations affect the Property, you should contact the county recorder where the zoned area is located.

9 of 13

353. **ADVERSE DEFENDER INFORMATION:** Information regarding the predatory offender registered with the predatory offender registry under MN Statute 243.166 may be local law enforcement offices in the community where the Property is located or the Minnesota Department of Corrections at (651) 361-7200, or from the Department of Corrections web site at <https://www.mn.gov/coms.doc.state.mn.us/publicregistrantsearch>.

MN/PA-VL-8 (8/24)



Purchase ID: 70634473 (8/27/2022) 8/11/2022 04:29:42

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360. Page 9 Date February 20th 2025

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367. preferential tax treatment (e.g. Green Acres, Managed Forest Land, Non-Profit Status, Rural Preserve, SFA, etc.).

368. Seller discloses, to the best of Seller's knowledge, that the Property ☐ IS ☒ IS NOT enrolled in any federal, state, or

369. local governmental programs (e.g., conservation programs, CREP, CRP, EQIP, Green Acres, Managed Forest Land,

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MN/PA-VL-8 (8/24)



Purchase ID: 70634473 (8/27/2022) 8/11/2022 04:29:42

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VACANT LAND (RESIDENTIAL)

402. Page 10 Date February 20th 2025

402. Property located at 306th Street Frontenac 55026

403. **PROPERTY CONDITION:** See Disclosure Statement: Vacant Land or Disclosure Statement:404. **Seller's Disclosure Alternatives for description of disclosure responsibilities and limitations, if any.**405. **BUYER HAS RECEIVED THE INSPECTION REPORTS, IF REQUIRED BY MUNICIPALITY.**406. **BUYER IS NOT RELYING ON ANY ORAL REPRESENTATIONS REGARDING THE CONDITION OF THE PROPERTY.**407. **PLEASE NOTE:** Buyer may incur additional charges improving the Property, including, but not limited to, hookup and/

408. or access charges; municipal charges; costs for sewer access, stubbing access, water access, park dedication, road

409. access, curb cuts, utility connection and connecting fees; and tree planting charges.

410. (Check appropriate boxes.)

411. **SELLER WARRANTS THAT THE PROPERTY IS EITHER DIRECTLY OR INDIRECTLY CONNECTED TO:**412. **CITY SEWER** ☐ YES ☒ NO / **CITY WATER** ☐ YES ☒ NO413. **SUBSURFACE SEWAGE TREATMENT SYSTEM**414. **SELLER** ☐ DOES ☒ DOES NOT KNOW OF A SUBSURFACE SEWAGE TREATMENT SYSTEM ON OR415. **SERVING THE PROPERTY.** (If answer is DOES, and the system does not require a state permit, see Disclosure416. **Statement: Subsurface Sewage Treatment System.)**417. **PRIVATE WELL**418. **SELLER** ☐ DOES ☒ DOES NOT KNOW OF A WELL ON OR SERVING THE PROPERTY.

419. (If answer is DOES and well is located on the Property, see Disclosure Statement: Well.)

420. **TO THE BEST OF SELLER'S KNOWLEDGE, THE PROPERTY** ☐ IS ☒ IS NOT in a SPECIAL WELL421. **CONSTRUCTION AREA.**422. **THIS PURCHASE AGREEMENT** ☐ IS ☒ IS NOT SUBJECT TO AN ADDENDUM TO PURCHASE AGREEMENT:423. **SUBSURFACE SEWAGE TREATMENT SYSTEM AND WELL INSPECTION CONTINGENCY.**

424. (If answer is IS, see attached Addendum.)

425. **IF A WELL OR SUBSURFACE SEWAGE TREATMENT SYSTEM EXISTS ON THE PROPERTY, BUYER HAS**426. **RECEIVED A DISCLOSURE STATEMENT: WELL AND/OR A DISCLOSURE STATEMENT: SUBSURFACE**427. **SEWAGE TREATMENT SYSTEM.**

Printable page

PARCEL ID: 320152402
SAVANNAH J CARLSON

ROLL: REAL PROPERTY

Payments

Pay Year	Business Date	Payment Amt	Check #	Receipt #
2025	03/14/2025	\$852.00	1280233544	0
2024	04/10/2024	\$772.00		
2023	05/11/2023	\$60.00		

Payment Details

Pay Year	Asmt Year	Tax	Penalty	Interest	Cost	Total
2025	2024	852.00				852.00
2024	2023	772.00				772.00
2023	2022	60.00				60.00

Printable page

PARCEL ID: 320152400
SAVANNAH J CARLSON

ROLL: REAL PROPERTY

Payments

Pay Year	Business Date	Payment Amt	Check #	Receipt #
2025	03/14/2025	\$70.00	1280233542	0
2024	04/10/2024	\$64.00		
2023	05/11/2023	\$54.00		
2022	09/22/2022	\$85.00		
2022	05/12/2022	\$85.00		
2021	10/14/2021	\$92.00		
2021	05/12/2021	\$92.00		

Payment Details

Pay Year	Asmt Year	Tax	Penalty	Interest	Cost	Total
2025	2024	70.00				70.00
2024	2023	64.00				64.00
2023	2022	54.00				54.00
2022	2021	170.00				170.00
2021	2020	184.00				184.00

[illegible]

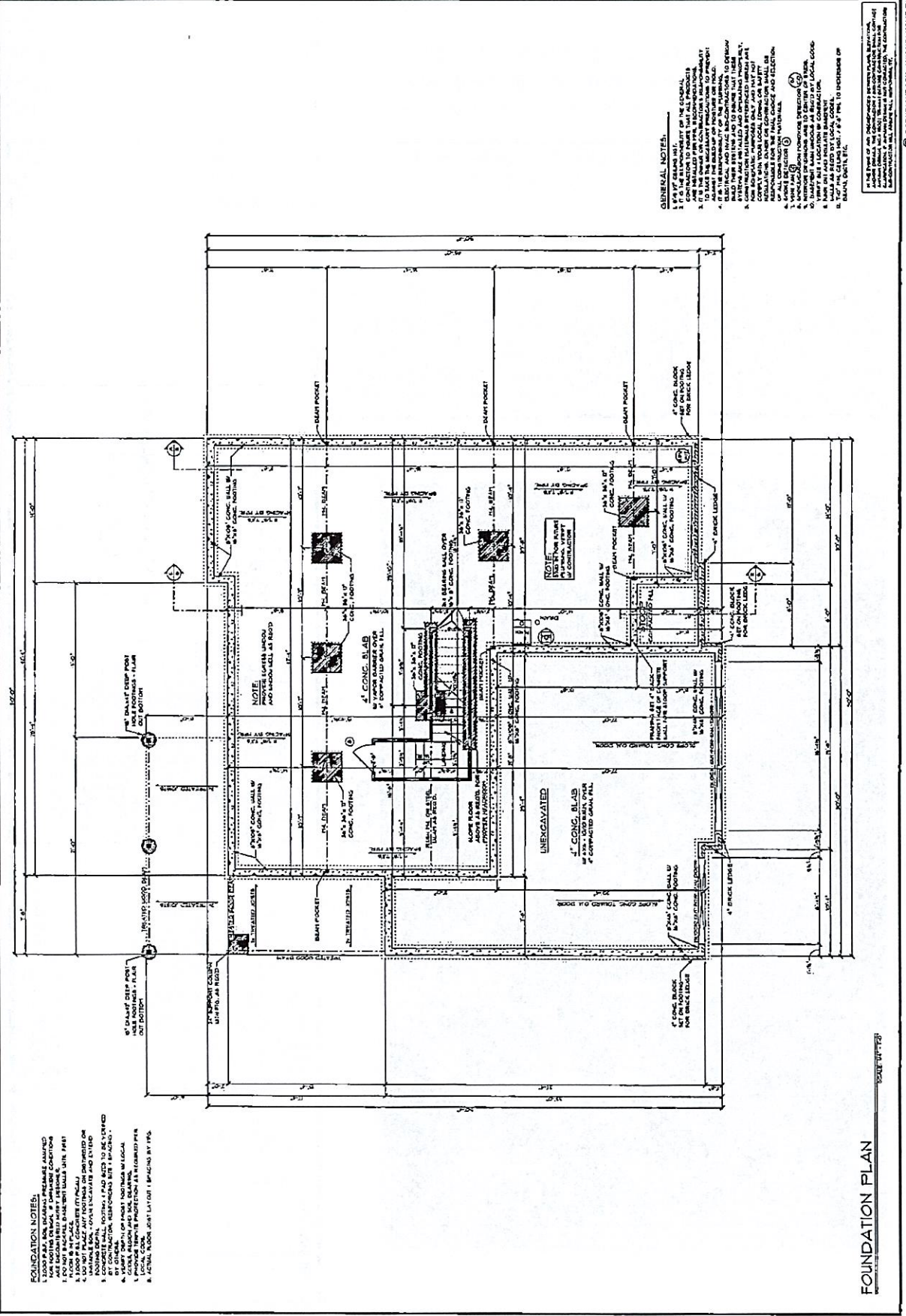
4. **Answers:**

1. **Correct:** The patient is a 30-year-old male with a 10-year history of rheumatoid arthritis. He has been on chronic low-dose prednisone (5 mg daily) for the past 5 years. He presents with a 2-week history of increasing weakness, particularly in the lower extremities, and a 1-week history of numbness and tingling in both hands. He denies any recent falls, trauma, or changes in his medication. His last blood count was 4 weeks ago and was within normal limits. He is currently on no other medications.
2. **Correct:** The patient's symptoms are consistent with a peripheral neuropathy. The most common cause of peripheral neuropathy in this context is chronic alcohol consumption, which can lead to a deficiency of thiamine (vitamin B1). Thiamine deficiency can also lead to Wernicke's encephalopathy, which can present with ataxia, ophthalmoplegia, and confusion. However, the patient's symptoms are more consistent with a peripheral neuropathy.
3. **Correct:** The patient's symptoms are consistent with a peripheral neuropathy. The most common cause of peripheral neuropathy in this context is chronic alcohol consumption, which can lead to a deficiency of thiamine (vitamin B1). Thiamine deficiency can also lead to Wernicke's encephalopathy, which can present with ataxia, ophthalmoplegia, and confusion. However, the patient's symptoms are more consistent with a peripheral neuropathy.
4. **Correct:** The patient's symptoms are consistent with a peripheral neuropathy. The most common cause of peripheral neuropathy in this context is chronic alcohol consumption, which can lead to a deficiency of thiamine (vitamin B1). Thiamine deficiency can also lead to Wernicke's encephalopathy, which can present with ataxia, ophthalmoplegia, and confusion. However, the patient's symptoms are more consistent with a peripheral neuropathy.

5. **Correct:** The patient's symptoms are consistent with a peripheral neuropathy. The most common cause of peripheral neuropathy in this context is chronic alcohol consumption, which can lead to a deficiency of thiamine (vitamin B1). Thiamine deficiency can also lead to Wernicke's encephalopathy, which can present with ataxia, ophthalmoplegia, and confusion. However, the patient's symptoms are more consistent with a peripheral neuropathy.

[illegible][illegible][illegible][illegible]

1	GENERAL NOTES
2	ELEVATIONS
3	MAIN FLOOR PLAN
4	FOUNDATION PLAN
5	WALL/STAIR/DETAILS
6	KITCHEN/CROSS SECTION
7	ELECTRICAL/SUBROOF PLAN





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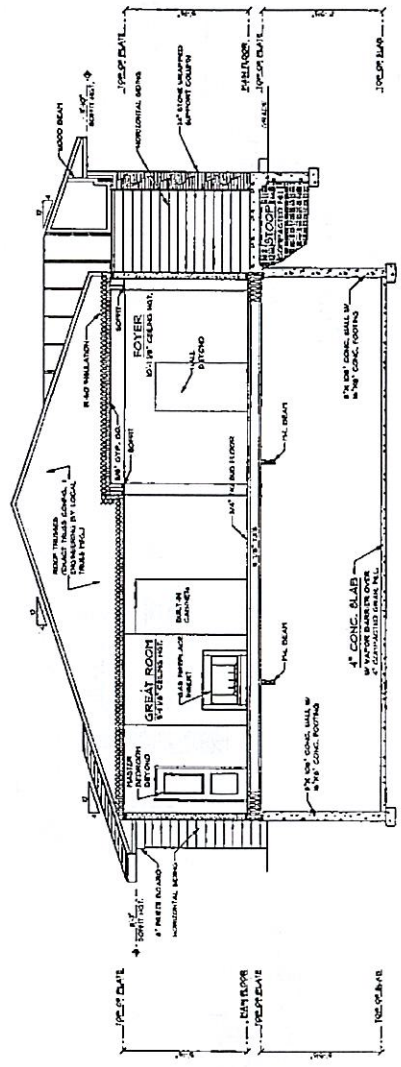
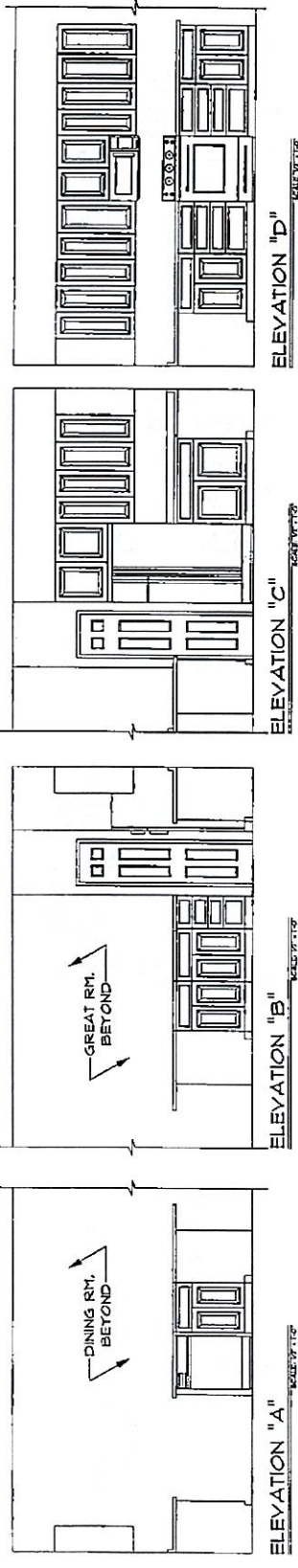
TRADITIONS & TRENDS
AD 64518

DATE: 01.11.10
DESIGNED BY: R.D.
DRAWN BY: J.M. LAM
CHECKED BY: J.M. LAM
SCALE: 1/8" = 1'-0"
NO. 150, AD 64518

6
OF SEVEN

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STAIR SECTION

SCALE: 1/4" = 1'-0"

TYPICAL CORNER

DOUBLE TOP PLATE ENDS

SOLE PLATE

TYPICAL CORNER

DOUBLE TOP PLATE ENDS

SOLE PLATE

BRICK LEDGE DETAIL

TYPICAL CORNER

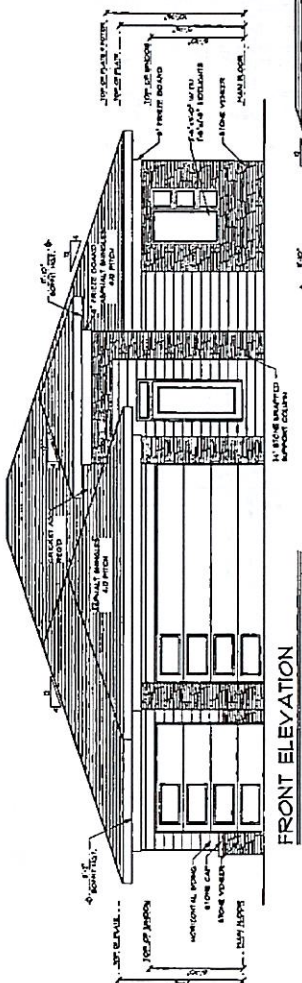
WALL SECTION 'A'

SCALE: 1/4" = 1'-0"

TYPICAL CORNER

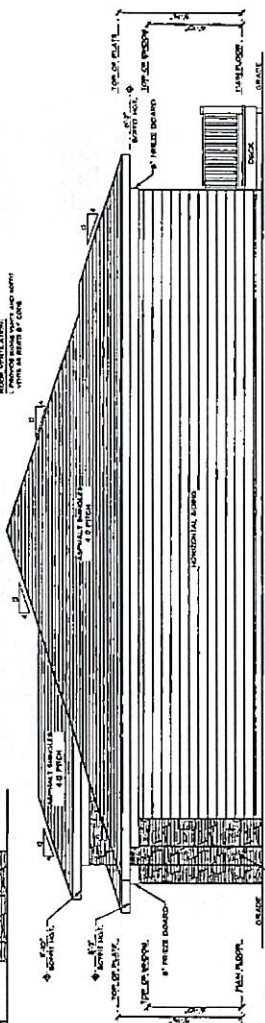
PROTECTIVE WALL
 PROTECTION RECOMMENDED
 ON ALL EXPOSED ROOF
 SURFACES TO PREVENT
 DAMAGE TO THE ROOF
 SYSTEM.

MAIN BEAM NOTE:
 1. TO MAINTAIN THE CORRECT PROPORTIONS TO THE
 BUILDING, THE MAIN BEAM SHALL BE 12" WIDE
 AND 12" DEEP. THE MAIN BEAM SHALL BE
 SUPPORTED BY 4" X 8" POSTS. THE MAIN BEAM
 SHALL BE 12" WIDE AND 12" DEEP. THE MAIN
 BEAM SHALL BE 12" WIDE AND 12" DEEP. THE
 MAIN BEAM SHALL BE 12" WIDE AND 12" DEEP.
 2. THE MAIN BEAM SHALL BE 12" WIDE AND 12" DEEP.
 3. THE MAIN BEAM SHALL BE 12" WIDE AND 12" DEEP.
 4. THE MAIN BEAM SHALL BE 12" WIDE AND 12" DEEP.
 5. THE MAIN BEAM SHALL BE 12" WIDE AND 12" DEEP.
 6. THE MAIN BEAM SHALL BE 12" WIDE AND 12" DEEP.
 7. THE MAIN BEAM SHALL BE 12" WIDE AND 12" DEEP.
 8. THE MAIN BEAM SHALL BE 12" WIDE AND 12" DEEP.
 9. THE MAIN BEAM SHALL BE 12" WIDE AND 12" DEEP.
 10. THE MAIN BEAM SHALL BE 12" WIDE AND 12" DEEP.



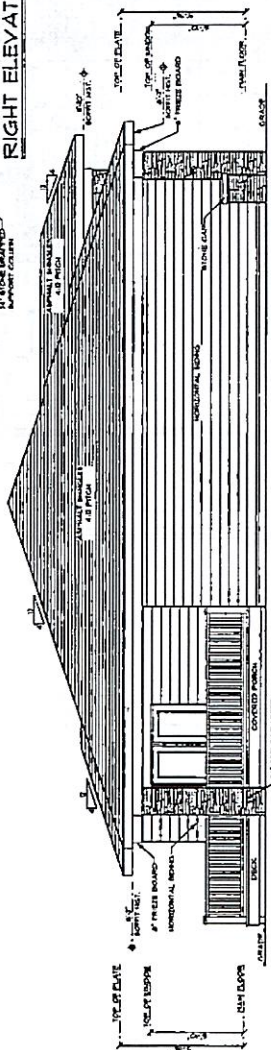
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



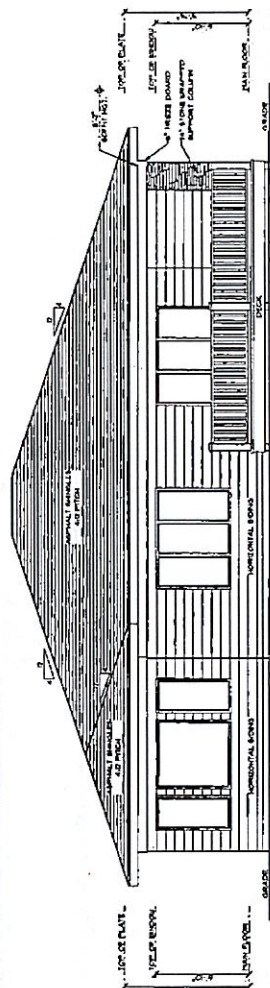
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

IF THE PROJECT IS NOT COMPLETED BY THE DATE SPECIFIED, THE ARCHITECT
 ASSUMES NO RESPONSIBILITY FOR THE PROJECT. THE ARCHITECT'S
 LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE. THE ARCHITECT
 DOES NOT ASSUME RESPONSIBILITY FOR THE PROJECT.

ACCORDING TO THE UNIFORM BUILDING CODE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.

MAIN FLOOR:
1484 SQ. FT.

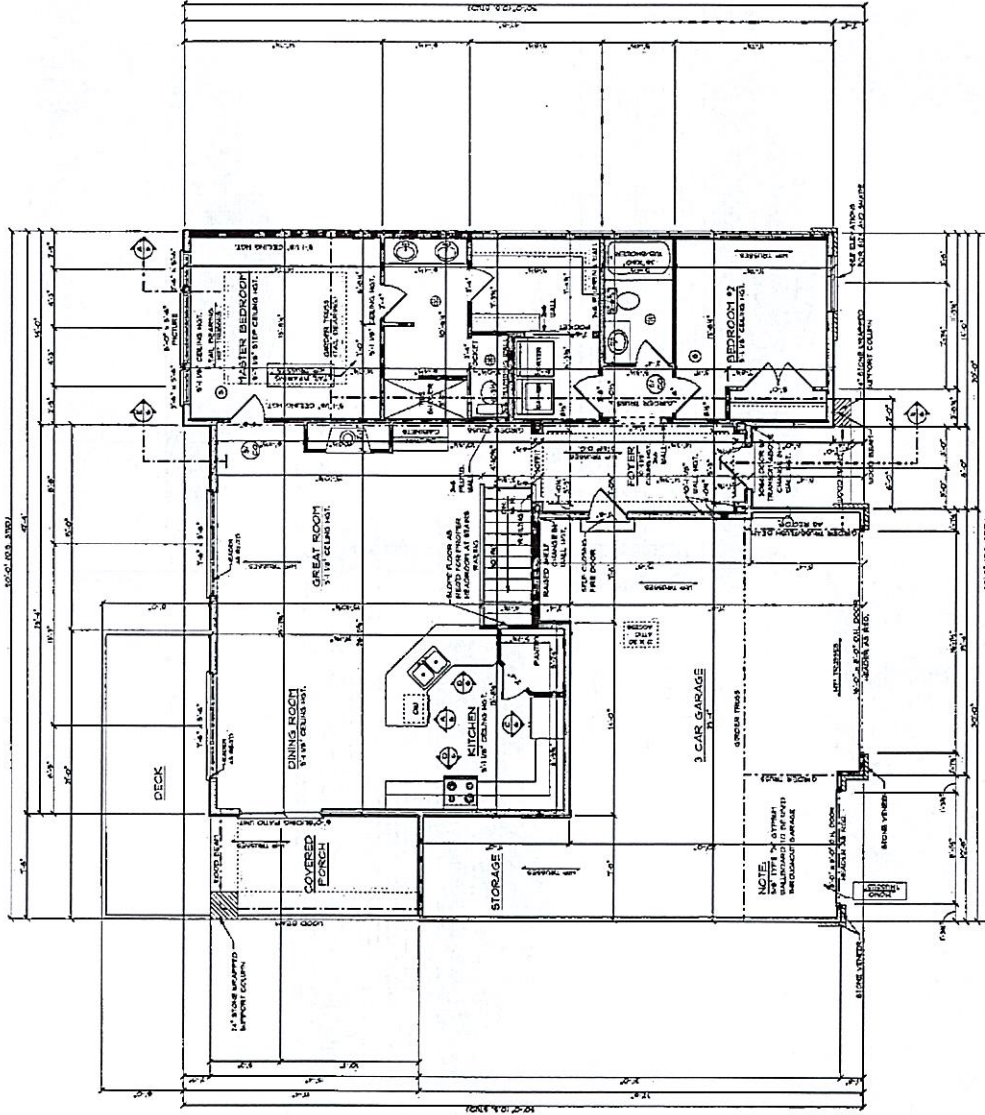
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AD 64516

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AD 64516

3
OF SEVEN



FRAMING NOTES:

1. 2" x 10" WALL JOISTS SPACED AT 16" O.C.
2. 2" x 10" WALL JOISTS SPACED AT 16" O.C.
3. 2" x 10" WALL JOISTS SPACED AT 16" O.C.
4. 2" x 10" WALL JOISTS SPACED AT 16" O.C.
5. 2" x 10" WALL JOISTS SPACED AT 16" O.C.
6. 2" x 10" WALL JOISTS SPACED AT 16" O.C.
7. 2" x 10" WALL JOISTS SPACED AT 16" O.C.
8. 2" x 10" WALL JOISTS SPACED AT 16" O.C.
9. 2" x 10" WALL JOISTS SPACED AT 16" O.C.
10. 2" x 10" WALL JOISTS SPACED AT 16" O.C.

GENERAL NOTES:

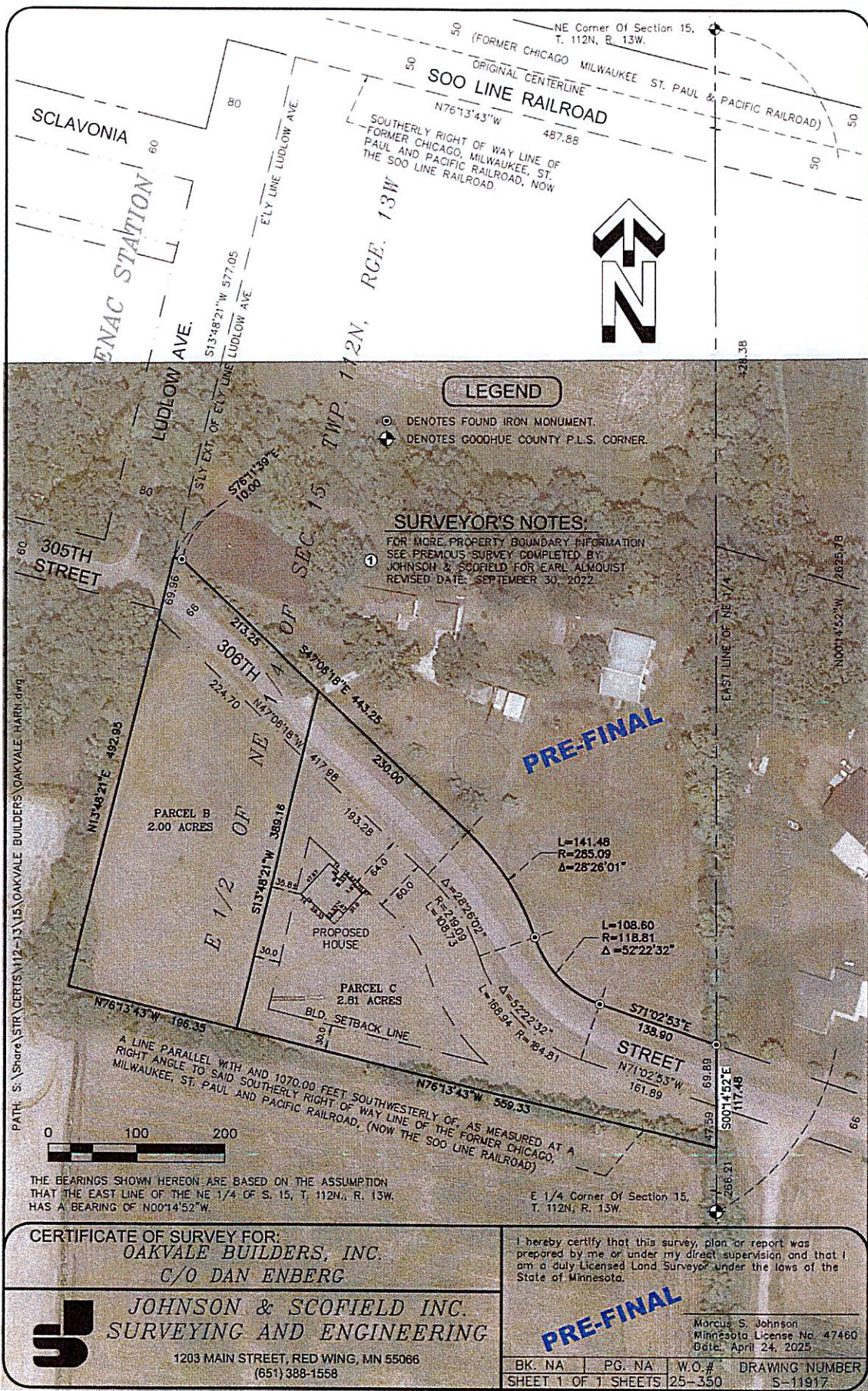
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
4. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
6. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
8. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
10. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

MAIN FLOOR PLAN

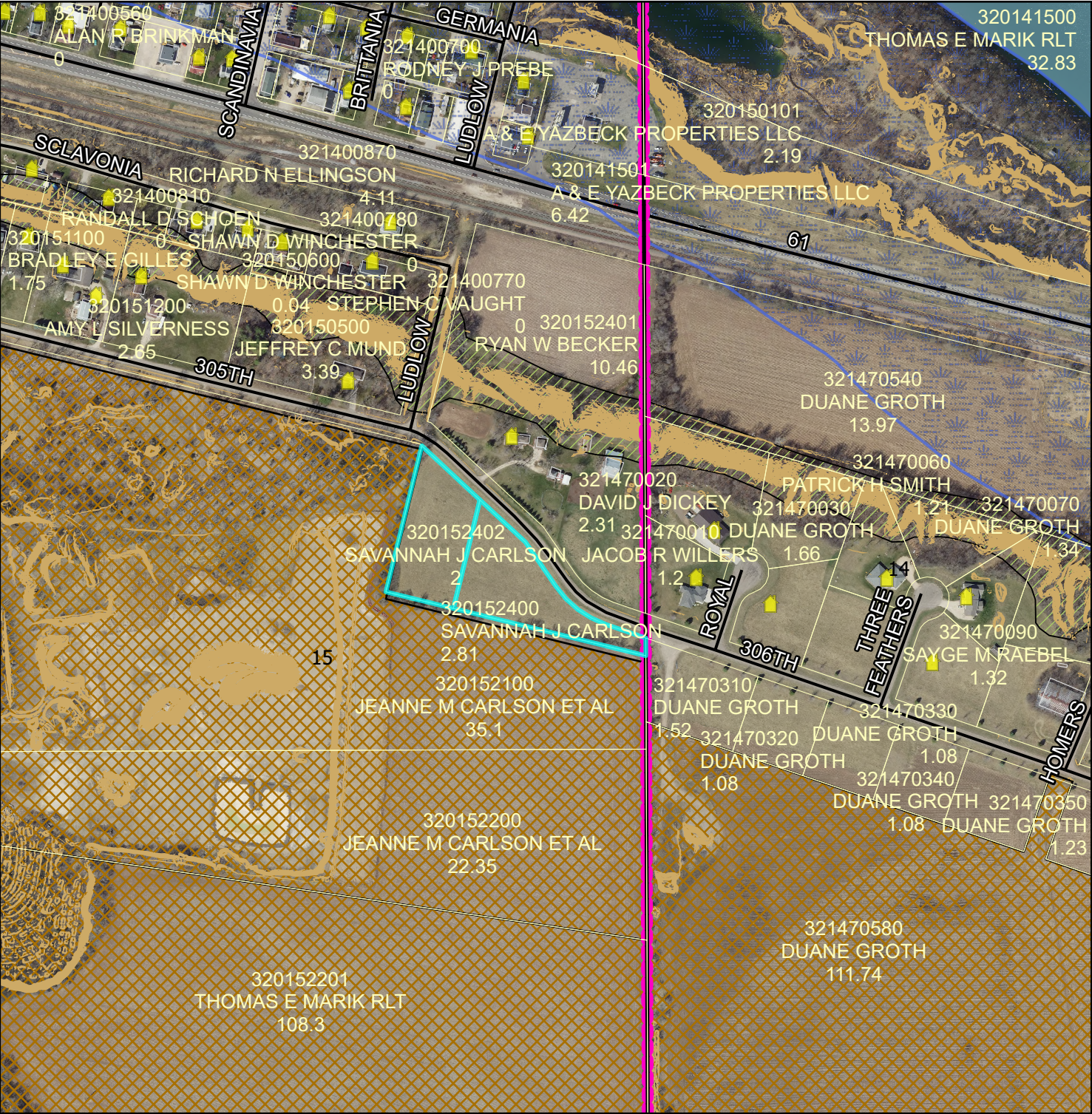
SCALE: 1/8" = 1'-0"

1. THE PLAN OF THIS HOUSE IS BASED ON THE ASSUMPTION THAT THE HOUSE WILL BE BUILT ON A LEVEL LOT. IF THE LOT IS NOT LEVEL, THE FOUNDATION SHALL BE ADJUSTED TO FOLLOW THE SLOPE OF THE LOT.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.



MAP 02: VICINITY MAP



BOARD OF ADJUSTMENT

Public Hearing
July 28, 2025

Savannah Carlson (Owner)
A-2 Zoned District.

Part of the E1/2 of the NE 1/4 of Sec 15
Twp 112 Range 13 in Florence Township.

Request for Variance to allow a dwelling
to be located less than 1,000 feet, but not
closer than 300 feet from a Mineral Extraction
Facilities property boundary at the surface and
their vertical extensions below the surface.

Legend

- | | |
|----------------------------|------------------------------|
| Intermittent Streams | Bluff Impact Zones (% slope) |
| Protected Streams | 20 |
| Lakes & Other Water Bodies | 30 |
| Shoreland | |
| Historic Districts | FEMA Flood Zones |
| Parcels | 2% Annual Chance |
| Registered Feedlots | A |
| Dwellings | AE |
| Municipalities | AO |
| | X |



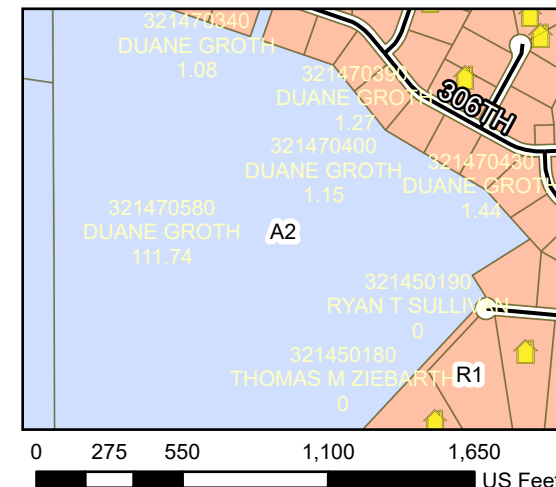
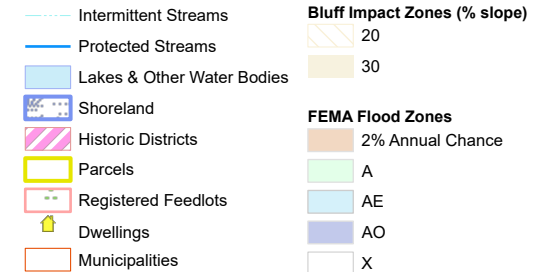
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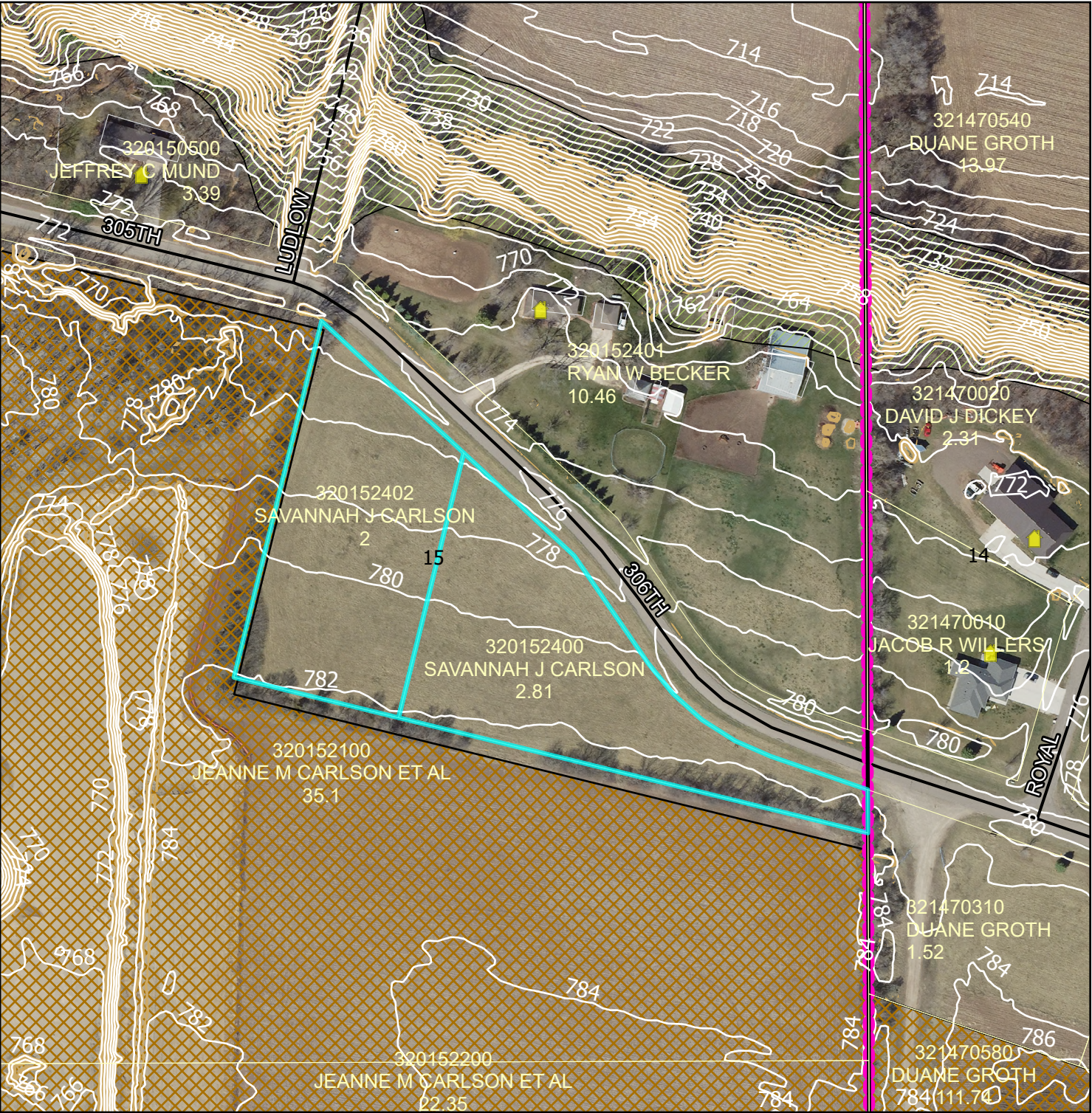
[illegible]

Request for Variance to allow a dwelling to be located less than 1,000 feet, but not closer than 300 feet from a Mineral Extraction Facilities property boundary at the surface and their vertical extensions below the surface.



2024 Aerial Imagery
Map Created July, 2025 by LUM

MAP 03: ELEVATIONS



BOARD OF ADJUSTMENT

Public Hearing
July 28, 2025

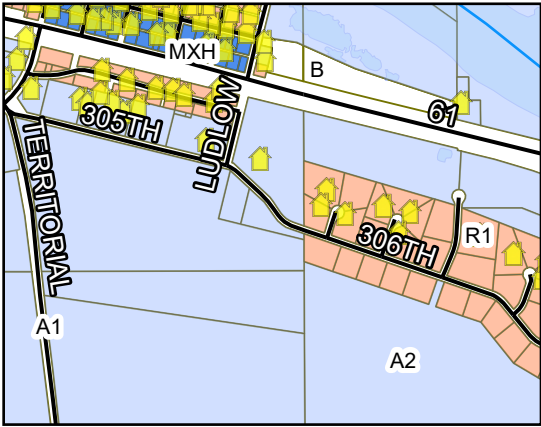
Savannah Carlson (Owner)
A-2 Zoned District.

Part of the E1/2 of the NE 1/4 of Sec 15
Twp 112 Range 13 in Florence Township.

Request for Variance to allow a dwelling
to be located less than 1,000 feet, but not
closer than 300 feet from a Mineral Extraction
Facilities property boundary at the surface and
their vertical extensions below the surface.

Legend

- | | |
|----------------------------|------------------------------|
| Intermittent Streams | Bluff Impact Zones (% slope) |
| Protected Streams | 20 |
| Lakes & Other Water Bodies | 30 |
| Shoreland | |
| Historic Districts | FEMA Flood Zones |
| Parcels | 2% Annual Chance |
| Registered Feedlots | A |
| Dwellings | AE |
| Municipalities | AO |
| | X |



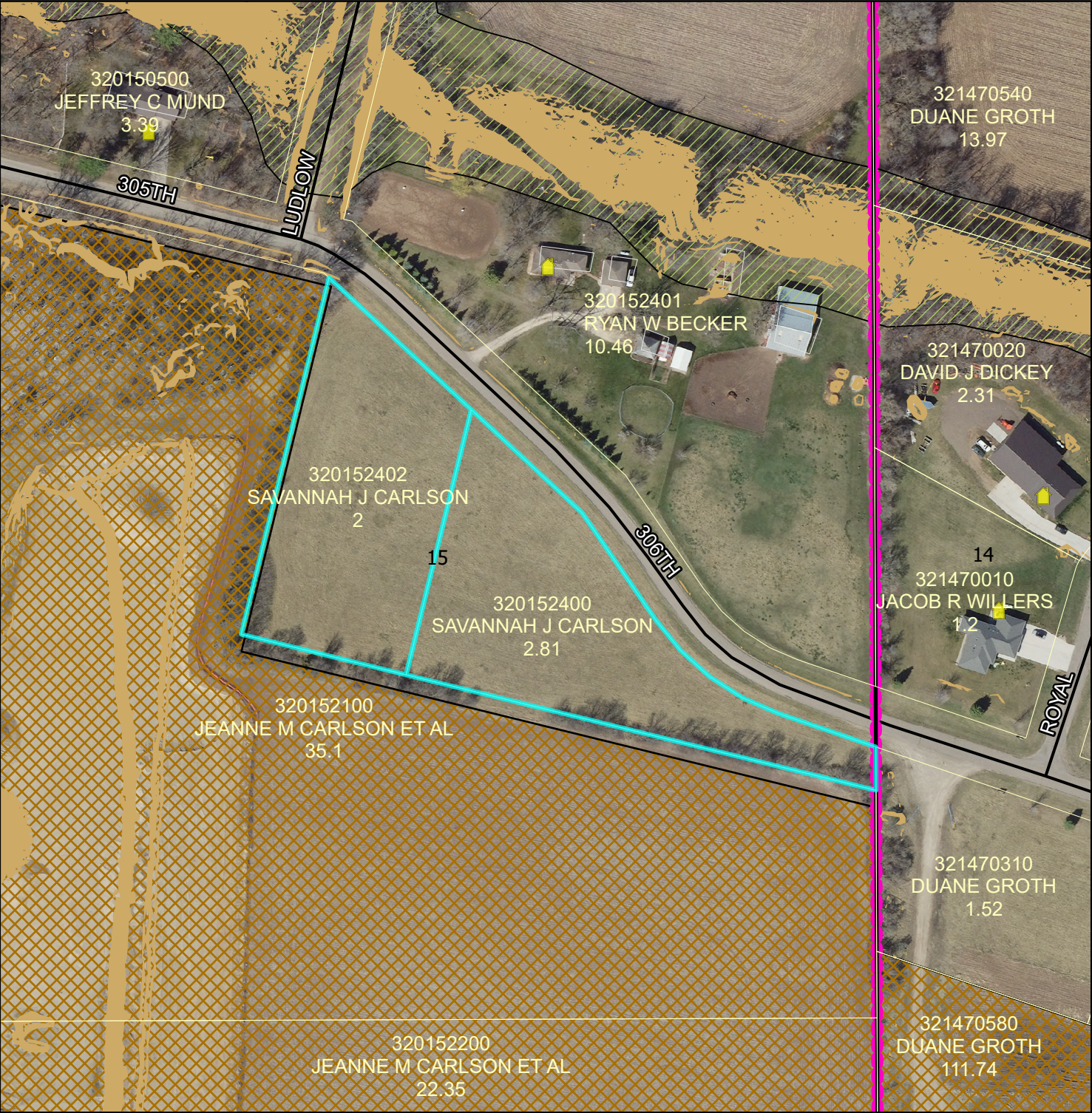
0 62.5 125 250 375
US Feet

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MAP 01: PROPERTY OVERVIEW



BOARD OF ADJUSTMENT

Public Hearing
July 28, 2025

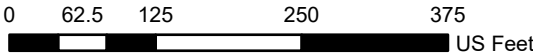
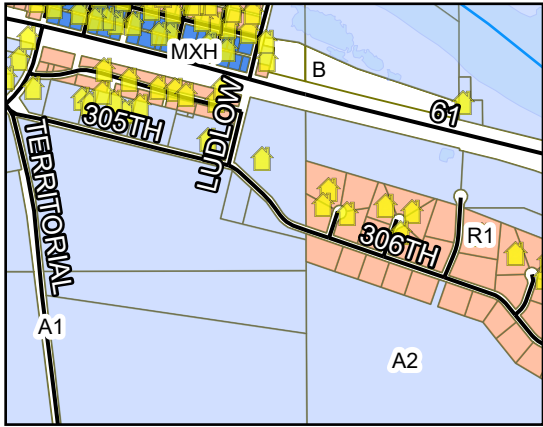
Savannah Carlson (Owner)
A-2 Zoned District.

Part of the E1/2 of the NE 1/4 of Sec 15
Twp 112 Range 13 in Florence Township.

Request for Variance to allow a dwelling
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Facilities property boundary at the surface and
their vertical extensions below the surface.

Legend

- | | |
|----------------------------|------------------------------|
| Intermittent Streams | Bluff Impact Zones (% slope) |
| Protected Streams | 20 |
| Lakes & Other Water Bodies | 30 |
| Shoreland | |
| Historic Districts | FEMA Flood Zones |
| Parcels | 2% Annual Chance |
| Registered Feedlots | A |
| Dwellings | AE |
| Municipalities | AO |
| | X |

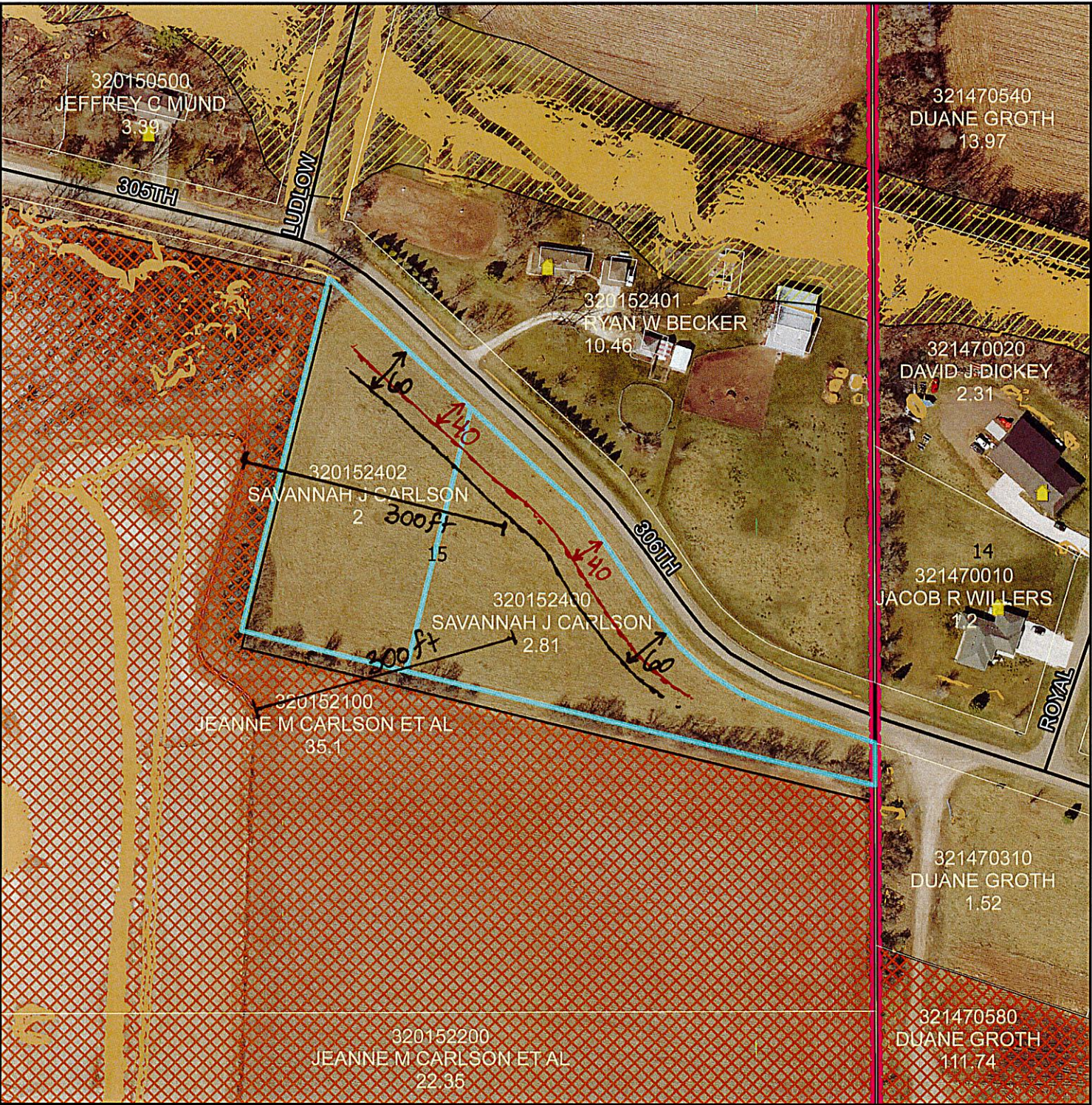


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MAP 01: PROPERTY OVERVIEW



BOARD OF ADJUSTMENT

Public Hearing
July 28, 2025

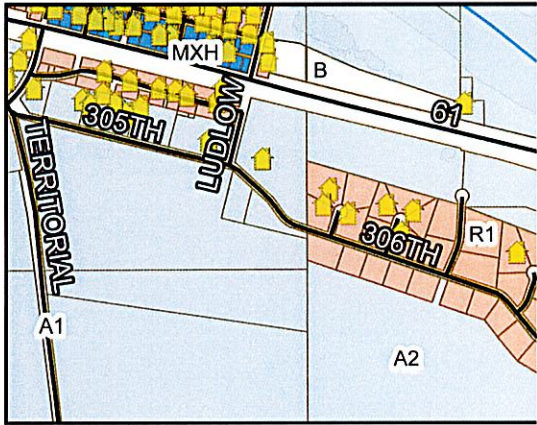
Savannah Carlson (Owner)
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Facilities property boundary at the surface and
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Legend

Intermittent Streams	Bluff Impact Zones (% slope)
Protected Streams	20
Lakes & Other Water Bodies	30
Shoreland	
Historic Districts	FEMA Flood Zones
Parcels	2% Annual Chance
Registered Feedlots	A
Dwellings	AE
Municipalities	AO
	X



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