

To: County Board
From: Land Use Management
Meeting Date: May 7, 2024
Report date: April 19, 2024

PUBLIC HEARING: CUP Request to Elevate a Dwelling within a Floodplain by Means Other than Fill

Request, submitted by Rose and Wayne Decklever (Owners) to elevate a proposed dwelling above the base flood elevation of a Floodplain area by means of a “tuck under garage” foundation.

Application Information:

Applicant: Rose and Wayne Decklever (Owners)
Address of zoning request: 29282 Lake Avenue Way Frontenac, MN 55026
Parcel(s): 32.130.0190
Abbreviated Legal: Lot 1 Block 8 of the Town of Frontenac plat
Township Information: Florence Township signed acknowledgment of the request and approved a building permit request for the project with no additional comments.
Zoning District: R-1 (Suburban Residence District)

Attachments and links:

Applications and submitted project summary
April 15, 2024 DRAFT Planning Commission Meeting Minutes
Site Map(s)
Goodhue County Zoning Ordinance (GCZO):
<http://www.co.goodhue.mn.us/DocumentCenter/View/2428>

Background:

The Applicants (Rose and Wayne Decklever) intend to replace an existing cabin on their property that does not meet FEMA Floodplain elevation standards with a new dwelling that meets these standards. The proposed 1,811 square foot home would be located within the shoreland and Special Flood Hazard Area (Floodplain) of Lake Pepin.

FEMA rules divide the floodplain areas of lakes and rivers into two distinct zones referred to as the “floodway” (areas in the path of flowing water during flood events) and the “flood-fringe” (areas inundated with floodwater during flood events). The GCZO does not permit new dwellings within floodway areas. Dwellings may be constructed within a flood fringe provided the habitable areas are elevated to the Regulatory Flood Protection Elevation (RFPE). The RFPE is the Base Flood Elevation plus one foot of “free-board.” The Decklever property contains a significant amount of floodway where no structures may be built. Based on the proposed setbacks and site plans, the proposed dwelling will not be located within the floodway portion of the property.

The primary method for elevating to the RFPE is to construct the building on fill. Per the GCZO, alternative methods for elevating a structure’s lowest floor to the RFPE such as by stilts, pilings, parallel

walls, crawl spaces, or tuck-under garages shall require the approval of a CUP. The Applicants are proposing to elevate the proposed home to the RFPE by use of a tuck-under garage foundation.

Property/Building Information:

- The subject property is approximately 18,530 square feet in area. The property is zoned R1 (Suburban Residence District) and is located within the Town of Frontenac Plat (1857). Per GCZO Article 24 the minimum lot size for an R1 parcel is 20,000 square feet if it was platted prior to 2019. The parcel does meet current requirements for minimum lot depth (125 feet) and width (100 feet).
- Parcel access is located off Lake Avenue Way from County 2 BLVD north and south of the parcel. Emergency vehicle access may be limited during extreme flood events. Flooding along the Mississippi River is generally not a “flash flood” and residents have time to evacuate the area as necessary.
- The property is bordered by R1 zoning districts on all sides. Adjacent land uses include single-family dwellings and cabins to the north and south, Lake Pepin to the east, and Valhalla Park owned by Florence Township to the west across Lake Avenue Way.
- The Applicants intend to construct a 2-bedroom, 1,811 square foot stick-built home atop a 9-foot tall tuck-under garage concrete poured-wall foundation.

The “tuck under” garage area must be used for parking and cold storage only.

Floodplain:

- The Base Flood Elevation (BFE) at the site has been determined to be 682 feet. The RFPE is therefore 683 feet mean sea level. The proposed building location is not within the FEMA identified floodway portion of the floodplain.
- Per GCZO Article 32, Section 5 Alternative elevation methods other than the use of fill may be utilized to elevate a structure's lowest floor above the RFPE. These alternative methods may include the use of stilts, pilings, parallel walls, etc., or above-grade enclosed areas such as crawl spaces or tuck-under garages. The base or floor of an enclosed area shall be considered above grade and not a structure's basement or lowest floor if:
 1. The enclosed area is above grade on at least one side of the structure.
 2. Is designed to internally flood and is constructed with flood-resistant materials.
 3. Is used solely for parking of vehicles, building access, or storage.

The above-noted alternative elevation methods are subject to the following additional standards:

- a. Design and Certification. The structure's design and as-built condition must be certified by a registered professional engineer or architect as being in compliance with the general design standards of the State Building Code and, specifically, that all electrical, heating, ventilation, plumbing, and air conditioning equipment and other service facilities must be at or above the RFPE

or be designed to prevent flood water from entering or accumulating within these components during times of flooding.

b. Specific Standards for Above Grade, Enclosed Areas. Above-grade fully enclosed areas such as crawl spaces or tuck-under garages must be designed to internally flood and the design plans must stipulate:

i. A minimum area of “automatic” openings in the walls where internal flooding is to be used as a flood-proofing technique. There shall be a minimum of two openings on at least two sides of the structure and the bottom of all openings shall be no higher than one (1) foot above grade. The automatic openings shall have a minimum net area of not less than one square inch for every square foot of enclosed area subject to flooding unless a registered professional engineer or architect certifies that a smaller net area would suffice. The automatic openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of flood waters without any form of human intervention.

ii. That the enclosed area will be designed of flood-resistant materials in accordance with the FP-3 or FP-4 classifications in the State Building Code and shall be used solely for building access, parking of vehicles, or storage

- The Applicants are proposing to elevate the habitable floors, as well as all machinery and equipment servicing the building to 687.29 feet, mean sea level. The existing grade around the structure is approximately 676 feet mean sea level and is proposed to be raised to 677.5 feet. A preliminary Elevation Certificate will be prepared by Johnson-Schofield Surveying & Engineering.
- Goodhue County Building Official Doug Morem has had discussions with the Applicants regarding their proposal and engineering and floodproofing requirements. A building permit will need to be reviewed and approved by the Department prior to construction of the facility.

Shoreland:

- The lot is considered a non-conforming lot of record as it does not contain the minimum 20,000 square feet lot area required for riparian lots on unsewered General Development lakes. Since the property already has a cabin the Applicants are allowed to replace the existing structure with a new structure meeting all Shoreland standards.
- The entire property is located within the shoreland overlay of Lake Pepin. Ordinarily, structures are required to be setback 75 feet from the Ordinary High Water Mark (OHWM). Per GCZO, where principal structures exist on adjoining lots on both sides of a proposed building site, structure setbacks may be altered without a variance to conform to the adjoining setbacks from the OHWM provided the proposed building site is not located in a shore impact zone.
- The shore impact zone is defined as 50% of the minimum required setback. Given the location of the existing structures to the north and south of the parcel, no portion of the proposed structure may be located closer than 37.5 feet from the OHWM of Lake Pepin. Staff has worked with the Applicants and Area Hydrologist to ensure the dwelling will be setback as far as possible from the OHWM. The

Applicants have proposed a 37'2" setback from the OHWM which would be 4 inches too close to the OHWM. The Area Hydrologist and Zoning Administrator agreed that due to the current cabin location and the Applicants' intent to move the new dwelling further back than the existing cabin, a 4 inch encroachment is acceptable.

- The lot will be required to adhere to impervious surface standards (maximum 25%), R1 structure coverage provisions (maximum coverage 20%), and shoreland height requirements (maximum height 25 feet). The Applicants have provided documentation that all of these provisions will be met.

Septic/Well:

- The site will require a new sub-surface sewage treatment system (SSTS) to be installed. The existing well will be used. The Applicants understand a box-mound system will need to be installed. They have identified an area for the septic system. The bottom of the SSTS will need to be elevated above the 10-year flood elevation as required by the Goodhue County SSTS ordinance.
- Goodhue County Environmental Health will review and permit the septic system once an application is received.

PAC Findings of Fact:

1. The proposed dwelling does not appear injurious to the use and enjoyment of properties in the immediate vicinity for uses already permitted, nor would it substantially diminish and impair property values in the immediate vicinity. The structure would be constructed in conformance with current building code and zoning ordinance standards.
2. The establishment of the proposed dwelling is not anticipated to impede the normal and orderly development and improvement of surrounding vacant property for uses predominant to the area. The structure is proposed to meet all development standards of the Goodhue County Zoning Ordinance. The use as proposed appears compatible with existing adjacent land uses.
3. A review of the Applicants' submitted project summary indicates adequate utilities, access roads, drainage, and other necessary facilities are available to accommodate the proposed use.
4. The submitted plans identify means to provide sufficient off-street parking and loading space to serve the proposed use and meet the Goodhue County Zoning Ordinance's parking requirements.
5. No offensive odor, fumes, dust, noise, light, or vibration that would constitute a nuisance are anticipated from the proposal.

PAC Recommendation:

The Planning Advisory Commission recommends the County Board of Commissioners:

- adopt the staff report into the record;
- adopt the findings of fact;
- accept the application, testimony, exhibits, and other evidence presented into the record; and

APPROVE the request submitted by Rose and Wayne Decklever to elevate a proposed dwelling above the Base Flood Elevation of a Floodplain area by means of a “tuck under” garage foundation.

Subject to the following conditions:

1. Activities shall be conducted according to submitted plans, specifications, and narrative unless modified by a condition of this CUP;
2. Applicants shall obtain all required Building and Environmental Health permits before beginning construction;
3. Applicants shall provide a preliminary Elevation Certificate prior to issuance of any building permits;
4. Applicants shall provide an as-built Elevation Certificate verifying the first-floor elevation and all electrical, heating, ventilation, plumbing, and air conditioning equipment and other service facilities meet or exceed the regulatory flood protection elevation (RFPE) of 683.0 feet mean sea level; and
5. Compliance with Goodhue County Zoning Ordinance including, but not limited to, Article 24 (Suburban Residence District), Article 31 (Shoreland Regulations), and Article 32 (Floodplain District).

Article 4, Section 3 CUP Floodplain review

Subd. 4. CUP/IUP applications for projects in a floodplain or shoreland area, shall consider all relevant factors specified in other sections of this Ordinance, and:

A. The danger to life and property due to increased flood height or velocities caused by encroachments.
The structure will not be located within the Floodway of Lake Pepin. No fill is proposed to be used to elevate the structure and it will be designed to internally flood to the Base Flood Elevation so an increase in the flood stage will not occur.

B. The danger that materials may be swept onto other lands or downstream to the injury of others or they may block bridges, culverts, or other hydraulic structures.
It is not anticipated that the structure will create downstream hazards due to materials blocking bridges, culverts, or other hydraulic structures.

C. The proposed water supply and sanitation systems and the ability of these systems to prevent disease, contamination, and unsanitary conditions.
The proposed dwelling will be serviced by a box-mound SSTS that will be installed and operated in compliance with MPCA rules for SSTS located in Floodplains.

D. The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner.
The dwelling will be required to meet all zoning and building code requirements for buildings located within a floodplain including flood-proofing, using flood-resistant materials, and elevating all living spaces and mechanical, plumbing fixtures, and electrical components/services above the RFPE.

E. The importance of the services provided by the proposed facility to the County.
The dwelling is not proposed to provide any services to the County.

F. The requirements of the facility for a waterfront location.
The structure will be required to adhere to all provisions of the Article 31 Shoreland Regulations including impervious surface limits, OHWM setbacks, and vegetation management.

G. The availability of alternative locations not subject to flooding for the proposed use.
The entirety of the subject parcel is located within the floodplain of Lake Pepin and was platted as such.

H. The compatibility of the proposed use with existing development and development anticipated in the foreseeable future.
This portion of the Town of Frontenac plat was originally developed for medium-density residential along the waterfront. There are 12 other residences existing in the vicinity of the proposed structure. A cabin has been located on the property since the early 1900s.

I. The relationship of the proposed use to the Comprehensive Plan and Floodplain Management Program for the area.

The Goodhue County Comprehensive Plan encourages the maintenance and administration of the floodplain regulations consistent with Minnesota Administrative Rules 6120.5400 (Floodplain Management Rules) which are the basis for the County's current Floodplain Regulations.

J. The safety of access to the property in times of flood for ordinary and emergency vehicles.
Emergency vehicle access to the site may be limited during extreme flood events. Flooding along the Mississippi River is generally not a "flash flood" and residents have time to evacuate the area as necessary.

K. The expected heights, velocity, duration, rate of rise, and sediment transport of the flood waters expected at the site.
The structure will not be located within the Floodway of Lake Pepin. No fill is proposed to be used to elevate the structure. All disturbed areas must be stabilized and erosion control measures such as silt fence shall be maintained on site until the area is 70% revegetated. The structure will be designed to internally flood to the Base Flood Elevation so an increase in the flood stage will not occur.

L. Such other factors which are relevant to the purposes of this Ordinance.

**PLANNING ADVISORY COMMISSION
GOODHUE COUNTY, MN
April 15, 2024 MEETING MINUTES
DRAFT**

-
- Adopt the staff report into the record
 - Adopt the findings of fact
 - Accept the application, testimony, exhibits, and other evidence into the record; and

Recommend the County Board of Commissioners **APPROVE** the Request, submitted by Jon Heitman (Owner) to rezone 1.73 acres from A-3 (Urban Fringe District) to R-1 (Suburban Residence District).

Motion carried 6:0

PUBLIC HEARING: CUP Request to Elevate a Dwelling within a Floodplain by Means Other than Fill

Request submitted by Rose and Wayne Decklever (Owners) to elevate a proposed dwelling above the base flood elevation of a Floodplain area by means of a “tuck under” garage foundation. Parcel 32.130.0190, 29282 Lake Avenue Way Frontenac, MN 55026. Lot 1 Block 8 of the Town of Frontenac plat. R-1 (Suburban Residence) District.

Pierret presented the staff report and attachments. She added that the Applicants provided engineered plans for flood openings earlier that day therefore the PAC could remove that portion of proposed Condition 3.

Chair Buck Opened the Public Hearing

No one spoke for or against the request.

⁵ After Chair Buck called three times for comments, it was moved by Commissioner Fox and seconded by Commissioner Warrington to close the Public Hearing.

Motion carried 6:0

⁶ It was moved by Commissioner Greseth and seconded by Commissioner Gale for the Planning Advisory Commission to:

- Adopt the staff report into the record
- Adopt the findings of fact
- Accept the application, testimony, exhibits, and other evidence into the record; and

Recommend the County Board of Commissioners **APPROVE** the Request submitted by Rose and Wayne Decklever (Owners) to elevate a proposed dwelling above the base flood elevation of a Floodplain area by means of a “tuck under” garage foundation.

Subject to the following conditions:

1. Activities shall be conducted according to submitted plans, specifications, and narrative unless modified by a condition of this CUP;
2. Applicants shall obtain all required Building and Environmental Health permits before beginning construction;
3. Applicants shall provide ~~professionally engineered plans for required flood openings and~~ a preliminary Elevation Certificate prior to issuance of any building permits;
4. Applicants shall provide an as-built Elevation Certificate verifying the first-floor elevation and all electrical, heating, ventilation, plumbing, and air conditioning equipment and other service facilities meet or exceed the regulatory flood protection elevation (RFPE) of 683.0 feet mean sea level; and
5. Compliance with Goodhue County Zoning Ordinance including, but not limited to, Article 24 (Suburban Residence District), Article 31 (Shoreland Regulations), and Article 32 (Floodplain District).

Motion carried 6:0

GOODHUE COUNTY CONDITIONAL/INTERIM USE PERMIT APPLICATION

Parcel # 32.130.0190

Permit# 224-0015

PROPERTY OWNER INFORMATION

Last Name Deeklever First Rose and Wayne

Street Address 29282 Lake Ave Way

City Frontenac

State MN Zip 55026 Attach Legal Description as Exhibit "A"

Authorized Agent

Phone

Mailing Address of Landowner: 29282 Lake Avenue Way, Frontenac MN 55026

Mailing Address of Agent:

PROJECT INFORMATION

Site Address (if different than above):

Lot Size 19,529.52 sf Structure Dimensions (if applicable) 58.6 x 55.9

What is the conditional/interim use permit request for?

Placement of new, elevated custom modular home
Written justification for request including discussion of how any potential conflicts with existing nearby land uses will be minimized.
The 3 season cabin is our primary residence and has flooded twice since we've owned it, we plan to build a 4 season elevated home. We can meet the required setbacks, impervious surface coverage, and height limitations without any variances.

DISCLAIMER AND PROPERTY OWNER SIGNATURE

I hereby swear and affirm that the information supplied to Goodhue County Land Use Management Department is accurate and true. I acknowledge that this application is rendered invalid and void should the County determine that information supplied by me, the applicant in applying for this variance is inaccurate or untrue. I hereby give authorization for the above mentioned agent to represent me and my property in the above mentioned matter.

Signature of Landowner: Rose and Wayne Deeklever

Date 3/8/24

Signature of Agent Authorized by Agent:

TOWNSHIP INFORMATION

Township Zoning Permit Attached? If no please have township complete below:

By signing this form, the Township acknowledges being made aware of the request stated above. In no way does signing this application indicate the Township's official approval or denial of the request.

Signature

Title

Date

Comments:

COUNTY SECTION

COUNTY FEE \$350400

RECEIPT # ONLINE

DATE PAID 3/19/2024

Applicant requests a CUP/IUP pursuant to Article ___ Section ___ Subdivision ___ of the Goodhue County Zoning Ordinance

What is the formal wording of the request?

Shoreland ___ Lake/Stream Name ___ Zoning District ___

Date Received ___ Date of Public Hearing ___ DNR Notice ___ City Notice ___

Action Taken: ___ Approve ___ Deny Conditions:

RECEIVED

MAR 20 2024

Land Use Management

GOODHUE COUNTY CONDITIONAL/INTERIM USE PERMIT APPLICATION

PROJECT SUMMARY

Please provide answers to the following questions in the spaces below. If additional space is needed, you may provide an attached document.

1. Description of purpose and planned scope of operations (including retail/wholesale activities).

Demolition of 1915 Cabin and building an 1311 square foot, 2 bedroom home, elevated above the base flood on a 9 foot concrete wall with a drive under garage.

2. Planned use of existing buildings and proposed new structures associated with the proposal.

Residential home.

3. Proposed number of non-resident employees.

0

4. Proposed hours of operation (time of day, days of the week, time of year) including special events not within the normal operating schedule.

0

5. Planned maximum capacity/occupancy.

2 bedroom home

6. Traffic generation and congestion, loading and unloading areas, and site access.

N/A 0

7. Off-street parking provisions (number of spaces, location, and surface materials).

N/A 0

Concrete driveway

8. Proposed solid waste disposal provisions.

Lake City Disposal

9. Proposed sanitary sewage disposal systems, potable water systems, and utility services.

Boxed Mound

10. Existing and proposed exterior lighting.

Minimal

11. Existing and proposed exterior signage.

N/A

12. Existing and proposed exterior storage.

N/A

13. Proposed safety and security measures.

N/A

Residential home

14. Adequacy of accessibility for emergency services to the site.

VIA Lake Avenue Way

15. Potential for generation of noise, odor, or dust and proposed mitigation measures.

N/A

16. Anticipated landscaping, grading, excavation, filling, and vegetation removal activities.

See site plan

17. Existing and proposed surface-water drainage provisions.

AS REQUIRED

18. Description of food and liquor preparation, serving, and handling provisions.

N/A

19. Provide any other such information you feel is essential to the review of your proposal.

This is our primary residence since 2018. We've experienced flooding in 2019 and 2023. We plan to build an elevated home above the BFE.

EROSION CONTROL NOTES

CONTRACTOR SHALL INSTALL PERIMETER SILT FENCE BEFORE START OF ANY CONSTRUCTION ACTIVITY. TO PREVENT SEDIMENT RUNOFF FROM REACHING THE CURB OR STREET RIGHT OF WAY, PERIMETER DOWNSLOPE SILT FENCE SHALL BE INSTALLED ACROSS ALL PRIVATE LOTS. WHILE STILL VULNERABLE DUE TO EXPOSED SOIL, ROCK CHECK DAMS WILL BE PLACED EVERY 25 FEET ALONG THE CENTERLINE OF EACH DRAINAGE SWALE ON GRADES EXCEEDING 4% TO REDUCE FLOW VELOCITIES THAT CAUSE EROSION.

TO PREVENT TRACKING OF DIRT ONTO HARD SURFACE STREET RIGHT-OF-WAY, ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED AND MAINTAINED UNTIL VEHICLE ENTRANCES ONTO THE SITE ARE NO LONGER REQUIRED AND TOPSOIL IS SCHEDULED TO BE REPLACED. ALL VEHICLE ACCESS TO THIS SITE SHALL USE THE ROCK CONSTRUCTION ENTRANCES. SHOULD THE ROCK CONSTRUCTION ENTRANCES BECOME INEFFECTIVE DUE TO EXCESSIVE SOIL CONTAMINATION, THEY SHALL BE REMOVED AND REPLACED.

SUFFICIENT TOPSOIL IS TO BE SALVAGED TO PROVIDE COVER AFTER GRADING OPERATIONS. ALL SOIL STOCKPILES AND FINISHED GRADED AREAS ARE TO BE SEED IMMEDIATELY IN ORDER TO ESTABLISH VEGETATION WITH WHEAT OR RYE GRASS @ 100 LB./ACRE DURING CONSTRUCTION. INSTALL AND MAINTAIN APPROVED INLET PROTECTION AT ALL ACTIVE STORM SEWER INLETS. SEDIMENT RUNOFF SHOULD BE MINIMIZED BY RESPONSIBLE SITE EROSION CONTROL. EROSION CONTROL MEASURES MUST BE INSPECTED BY THE CITY BEFORE ANY GRADING ACTIVITY BEGINS. TO PREVENT SILT AND SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM, A FILTER BAG INSERT, SEDIMENT CONTROL INLET HAT, ROCK LOG RING OR OTHER DEVICE APPROVED BY THE CITY, SHALL BE INSTALLED AT THE INLET.

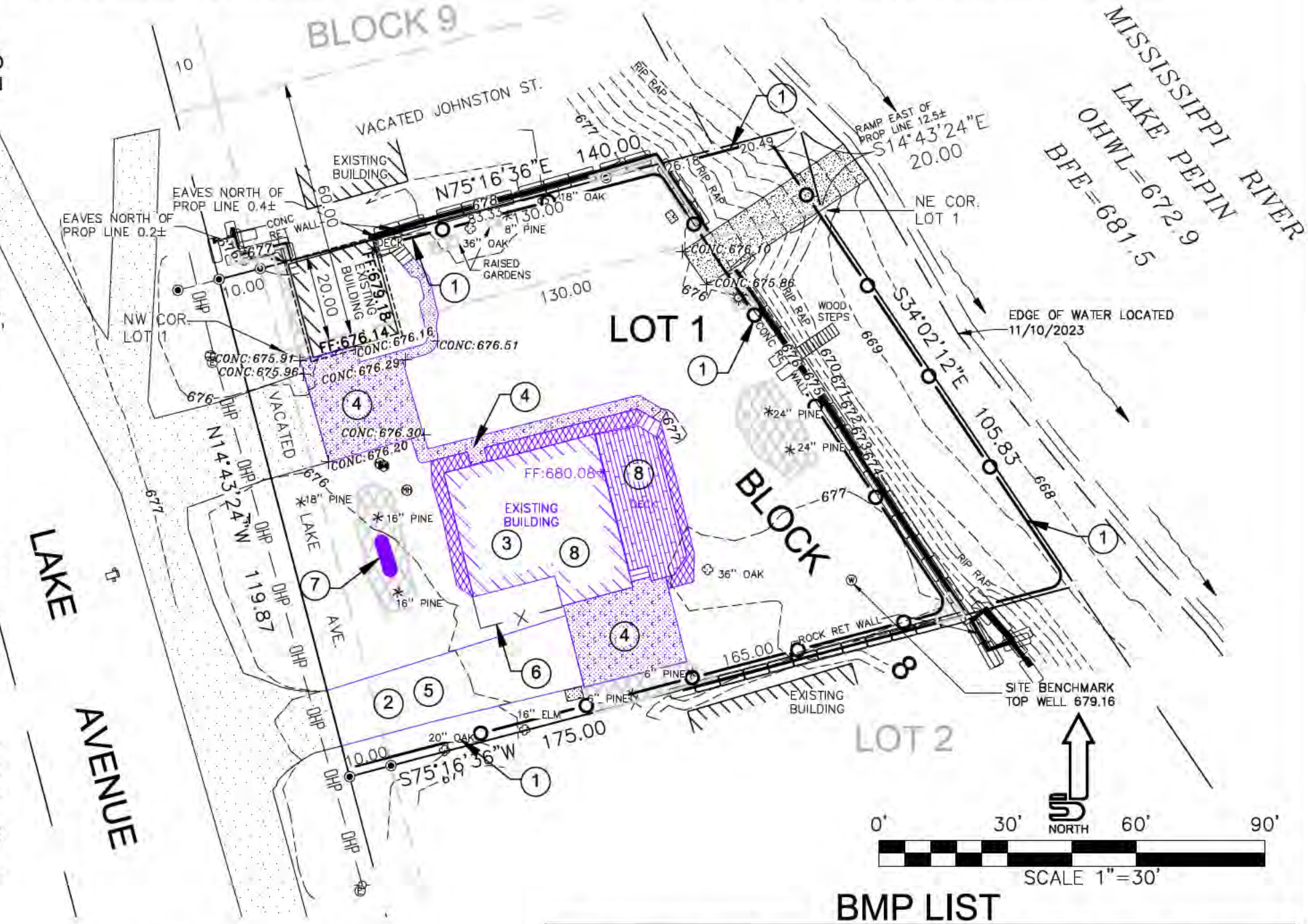
ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE. AREAS THAT HAVE BEEN DISTURBED OR AT FINISH GRADE, BUT HAVE NO ACTIVE WORK, SHALL BE SEED AND MULCHED OR SODDED WITHIN 14 DAYS, EXCEPT ON SLOPES STEEPER THAN 4H:1V. STEEPER SLOPES SHALL BE SEED AND COVERED WITH AN EROSION CONTROL BLANKET OR SEED AND MULCHED WITH A TACKIFYING AGENT OR SODDED. AS SOON AS POSSIBLE AFTER GRADING OPERATIONS HAVE BEEN COMPLETED, TOPSOIL SHALL BE SPREAD AND THE ENTIRE SITE SHALL BE VEGETATED. FINAL SITE STABILIZATION SHALL BE EVIDENT WHEN SEED GRASS IS PRESENT ON ALL EXPOSED GRADING AREAS AND HAS GROWN TO A LENGTH OF 6 INCHES AND THERE ARE NO SIGNS OF ONGOING EROSION. IF SOD IS PLACED IN-LIEU OF SEED, IT SHALL BE WATERED AND MAINTAINED AND SHOW NO SIGNS OF STRESS FOR AT LEAST 30 DAYS. THE CITY SHALL APPROVE FINAL SITE STABILIZATION.

A CONCRETE WASHOUT AREA IS REQUIRED FOR ALL CONCRETE CONSTRUCTION. THE WASHOUT SYSTEM CAN BE A PORTABLE UNIT PROVIDED BY THE CONCRETE SUPPLIER OR AN IN-GROUND SYSTEM CONSTRUCTED BY THE CONTRACTOR. ONE ACCEPTABLE METHOD OF CREATING AN IN-GROUND WASHOUT PIT WOULD BE TO EXCAVATE A 3 FOOT DEEP AREA (MIN. 3' WIDTH X VARIABLE LENGTH AS NEEDED), LINED WITH 10 MIL. PLASTIC AND PERIMETER ANCHORED WITH SAND BAGS OR AGGREGATE. IF THE LINING BECOMES DAMAGED (PUNCTURED OR RIPPED), THE WASHOUT SHALL NOT BE USED UNTIL THE LINING IS REPAIRED. CONCRETE POURS SHALL NOT BE CONDUCTED DURING OR BEFORE AN ANTICIPATED STORM EVENT. CONCRETE WASTES SHALL BE ALLOWED TO HARDEN, BROKEN UP, THEN DISPOSED OF ACCORDING TO LOCAL ORDINANCE. THIS WASHOUT PIT SHALL BE LOCATED AWAY FROM ALL STEEP SLOPES AND DRAINAGE INLETS.

A NPDES STORM WATER PERMIT FOR CONSTRUCTION IS NOT REQUIRED FOR THIS PROJECT.

KEYNOTES

- ① INSTALL SILT FENCE- SEE DETAIL ON SHEET X
- ② INSTALL ROCK CONSTRUCTION ENTRANCE- SEE DETAIL ON SHEET X
- ③ CONTACT LOCAL UTILITIES FOR DISCONNECTS PRIOR TO ANY DEMOLITION
- ④ REMOVE EXISTING CONCRETE
- ⑤ REMOVE EXISTING GRAVEL
- ⑥ REMOVE EXISTING FENCE
- ⑦ RELOCATE PROPANE TANK
- ⑧ REMOVE EXISTING BUILDING AND DECK



BEARINGS SHOWN HEREON ARE ORIENTED TO THE GOODHUE COUNTY COORDINATE SYSTEM, NAD 83, 1996 ADJUSTMENT (HARN)

ITEM	DESCRIPTION	UNITS	TOTAL ESTIMATED QUANTITY
1	SILT FENCE	LF	480
2	ROCK CONSTRUCTION ENTRANCE	EA	1

BMP LIST

Engineering, Surveying & Planning
JOHNSON & SCOFIELD INC.
 1203 Main Street, Red Wing, MN 55066
 ph. 651.388.1558 fax 651.388.1559

PRELIMINARY NOT FOR CONSTRUCTION

DESIGNED	SPD\SPV
DRAWN	SPD
CHECKED	SPV

REVISED	BY	DATE

LATEST REVISION:
 Prepared For:
WAYNE AND ROSE DECKLEVER
 29282 LAKE AVENUE
 FRONTENAC, MN 55028
 PHONE: 507-273-8693
 EMAIL: ROSEDECK65@GMAIL.COM

CALL BEFORE YOU DIG
 GOPHER STATE ONE CALL
 651-454-0002
 1-800-252-1166

NEW HOUSE CONSTRUCTION
 29282 LAKE AVENUE
 FRONTENAC, MINNESOTA

EROSION CONTROL AND DEMOLITION PLAN
 SHEET 3 OF 7 SHEETS



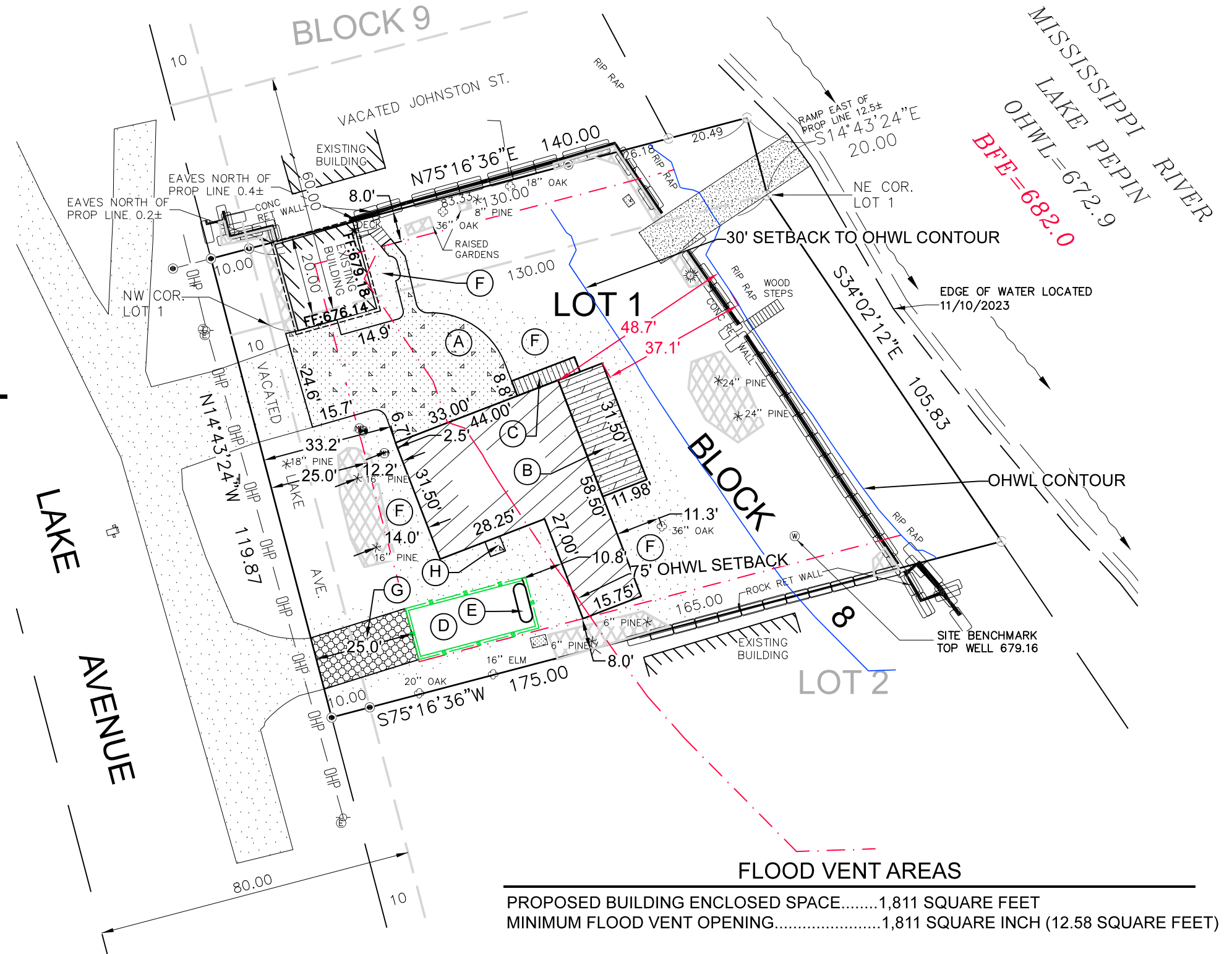
KEYNOTES

- (A) PROPOSED CONCRETE - SEE SECTION ON SHEET XXXX.
- (B) PROPOSED DECK
- (C) PROPOSED STAIRCASE
- (D) PROPOSED SEPTIC SYSTEM. DEIGN BY OTHERS
- (E) RELOCATED PROPANE TANK
- (F) AREA TO BE SEEDED OR SODDED
- (G) GRAVEL DRIVE
- (H) 4'X4' CONCRETE STOOP

AREA NOTES

LOT AREA.....	0.43 ACRES (18,530 SF)
EXISTING IMPERVIOUS	0.073 ACRES (3,199 SF) (17%)
EXISTING IMPERVIOUS THAT REMAINS AFTER DEMO.....	0.010 ACRES (464 SF) (2%)
PROPOSED BUILDING FOOTPRINT.....	0.041 ACRES (1,811 SF)
PROPOSED CONCRETE.....	0.032 ACRES (1,416 SF)
TOTAL PROPOSED IMPERVIOUS AREA.....	0.0847 ACRES (3,691 SF) (20%) 25% ALLOWED
IMPERVIOUS SURFACE INCREASE.....	0.011 ACRES (492 SF)
TOTAL PROPOSED GREEN SPACE.....	0.34 ACRES (14,839SF) (80%)

BEARINGS SHOWN HEREON ARE ORIENTED TO THE GOODHUE COUNTY COORDINATE SYSTEM, NAD 83, 1996 ADJUSTMENT (HARN)



FLOOD VENT AREAS

PROPOSED BUILDING ENCLOSED SPACE.....	1,811 SQUARE FEET
MINIMUM FLOOD VENT OPENING.....	1,811 SQUARE INCH (12.58 SQUARE FEET)

Engineering, Surveying & Planning
JOHNSON & SCOFIELD INC.
 1203 Main Street Red Wing, MN 55066
 ph. 651.388.1558 fax 651.388.1559

PRELIMINARY NOT FOR CONSTRUCTION

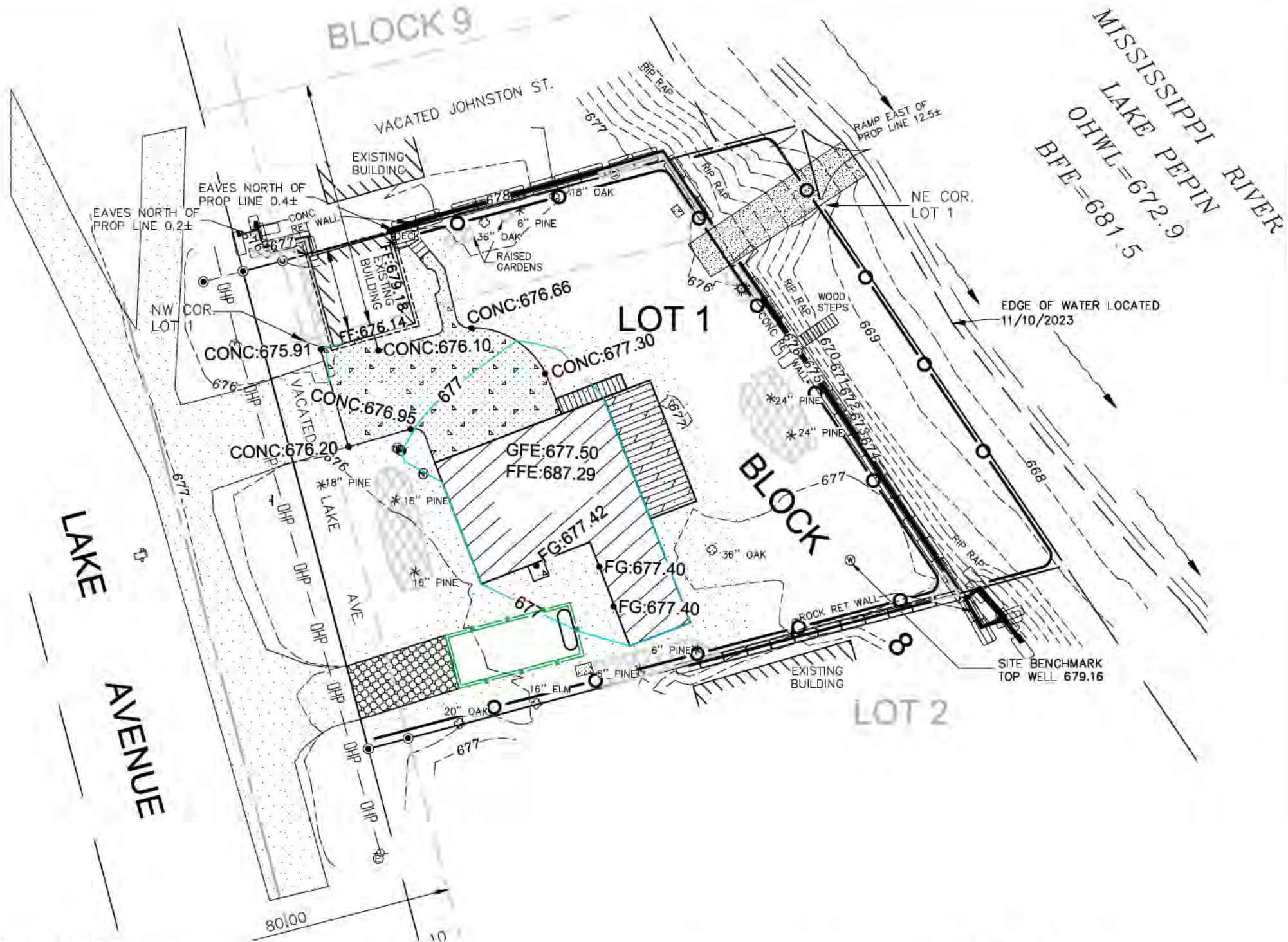
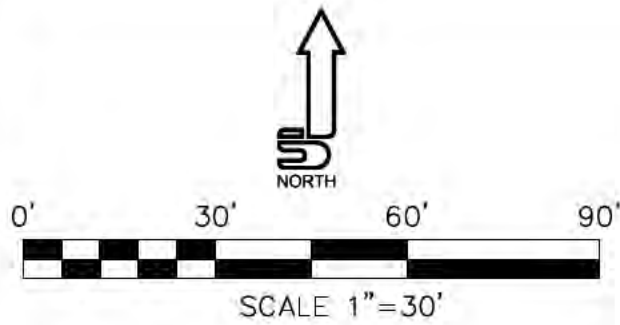
DESIGNED SPD\SPV
 DRAWN SPD
 CHECKED SPV

REVISED	BY	DATE	LATEST REVISION:
			Prepared For: WAYNE AND ROSE DECKLEVER 29282 LAKE AVENUE FRONTENAC, MN 55026 PHONE: 507-273-8893 EMAIL: ROSEDECK65@GMAIL.COM

CALL BEFORE YOU DIG
 GOPHER STATE ONE CALL
 TWIN CITY AREA 651-454-0002
 MN. TOLL FREE 1-800-252-1166

NEW HOUSE CONSTRUCTION
29282 LAKE AVENUE
FRONTENAC, MINNESOTA

SITE PLAN
SHEET 4 OF 7 SHEETS



GRADING NOTES

BEFORE CONSTRUCTION BEGINS, SILT FENCE SHALL BE INSTALLED ALONG THE DOWN SLOPE SIDE OF THIS PROJECT AREA AND SHALL BE MAINTAINED AND REMAIN IN-PLACE UNTIL THE ENTIRE SITE IS STABILIZED.

ALL SLOPES OF 3:1 OR GREATER SHALL HAVE AN EROSION CONTROL BLANKET INSTALLED AS SOON AS GRADING OPERATIONS HAVE BEEN COMPLETED.

AS SOON AS POSSIBLE AFTER GRADING OPERATIONS HAVE BEEN COMPLETED, TOPSOIL SHALL BE SPREAD AND THE ENTIRE SITE SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICABLE TO MINIMIZE EROSION. FINAL SITE STABILIZATION SHALL BE EVIDENT WHEN SEEDED GRASS IS PRESENT ON ALL EXPOSED GRADING AREAS AND HAS GROWN TO A LENGTH OF 6 INCHES AND THERE ARE NO SIGNS OF ONGOING EROSION. IF SOD IS PLACED IN-LIEU OF SEED, IT SHALL BE WATERED AND MAINTAINED AND SHOW NO SIGNS OF STRESS FOR AT LEAST 30 DAYS.

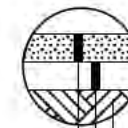
THE BOTTOM OF THE POND MUST BE SILTY SAND. NO HYDROLOGIC SOIL GROUPS C OR D MAY BE PLACED INTO POND AFTER OVER EXCAVATION.

BENCHMARK

TOP OF WELL HEAD AT 29282 LAKE AVENUE
ELEVATION = 679.16
ELEVATIONS ARE NAVD 88 DATUM

BMP LIST

ITEM	DESCRIPTION	UNITS	TOTAL ESTIMATED QUANTITY
3	TURF ESTABLISHMENT	SY	402



COMPACTED SUB GRADE
CONST. 6" CLEAN SAND
CONST. 6" NON-REINFORCED CONCRETE PAVEMENT
CONCRETE MIX 3A31

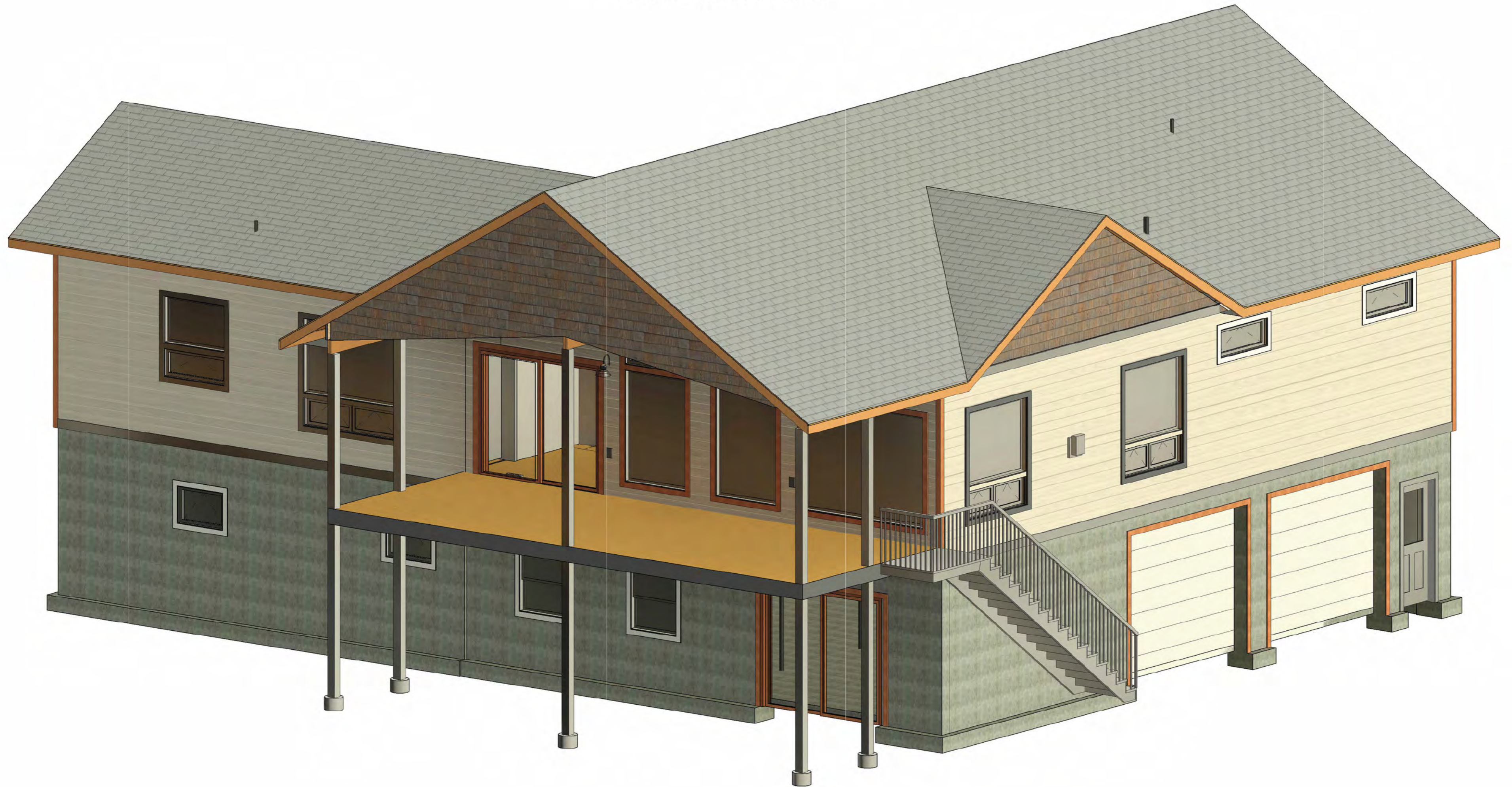
NOT TO SCALE

CONCRETE DRIVE SECTION

DESIGNED	REVISOR	BY	DATE	LATEST REVISION:
SPD\SPV				Prepared For:
SPD				WAYNE AND ROSE DECKLEVER
SPV				29282 LAKE AVENUE
				FRONTENAC, MN 55026
				PHONE: 507-273-8693
				EMAIL: ROSEDECK65@GMAIL.COM

DECKLEVER

29282 LAKE AVENUE WAY
FRONTENAC, MN 55026



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&



Winona
HOMES
Building Dreams Since 1976



1 FRONT ELEVATION - NEW
3/16" = 1'-0"



3 LEFT ELEVATION - NEW
3/16" = 1'-0"

17x22 Distribution	
— CABINET	— PLUMBING
— DECKS	— ROOF
— DOORS	— SAWROOM
— ELECTRICAL ROUGH-IN	— SIDING
— LINE	

11x17 Distribution	
— CABINET	— PLUMBING
— DECKS	— Q.C.
— ELECTRICAL ROUGH-IN	— ROOF
— ENDWALLS	— SAWROOM
— FOREMAN	— SHIP LOOSE
— LINE	— SIDEWALLS
— OFFICE	— SIDING

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QUOTE:
Q23-131
SN: SN

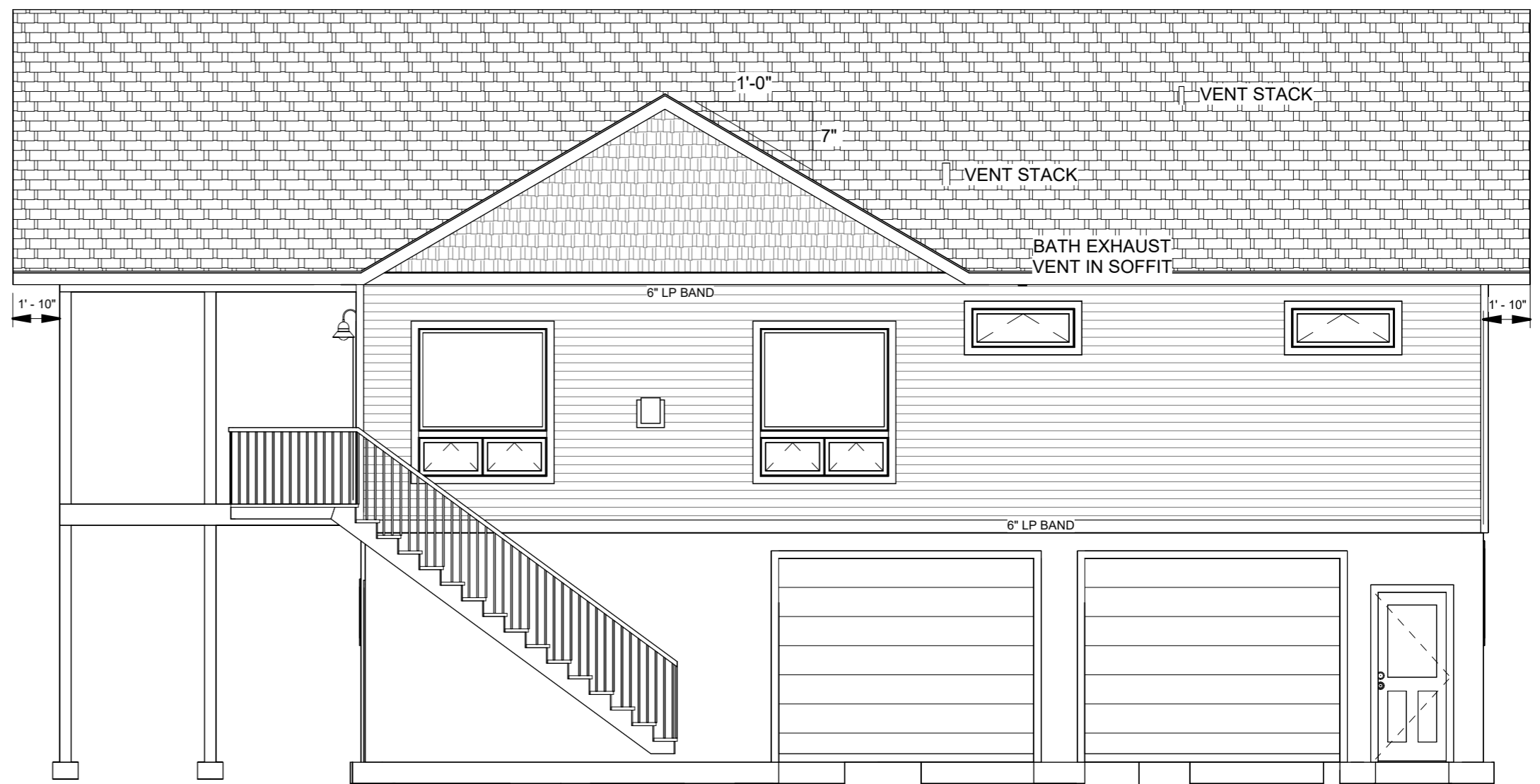
BUILDER: WINONA HOMES
CUSTOMER: DECKLEVER
29282 LAKE AVENUE WAY
FRONTENAC, MN 55026
TSM: BW
MODEL: 31'6"/57'6"x44" "C" RANCH

REVISIONS					
DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY
1/2/24	FPI/ELEV REV	CS			
1/31/24	FULL PKGE	GK			
12/4/23	FPI/ELEV	GK			

TITLE: EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"
PAGE: A300



① REAR ELEVATION - NEW
3/16" = 1'-0"



② RIGHT ELEVATION - NEW
3/16" = 1'-0"

17x22 Distribution		11x17 Distribution	
— CABINET	— PLUMBING	— CABINET	— PLUMBING
— DECKS	— ROOF	— DECKS	— Q.C.
— DOORS	— SAWROOM	— ELECTRICAL ROUGH-IN	— ROOF
— ELECTRICAL ROUGH-IN	— SIDING	— ENDWALLS	— SAWROOM
— LINE		— FOREMAN	— SHIP LOOSE
		— LINE	— SIDEWALLS
		— OFFICE	— SIDING

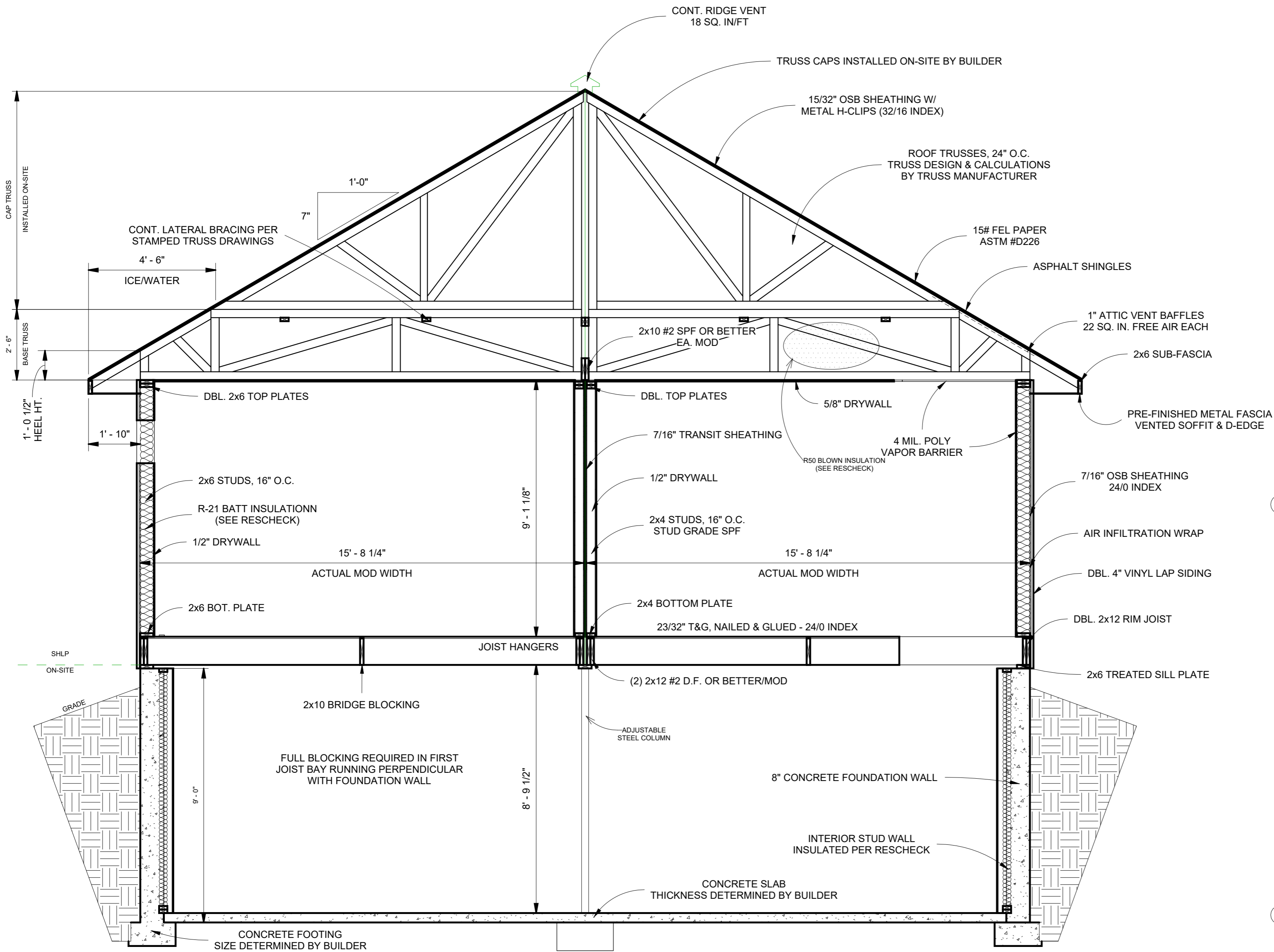
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QUOTE:
Q23-131
SN: SN

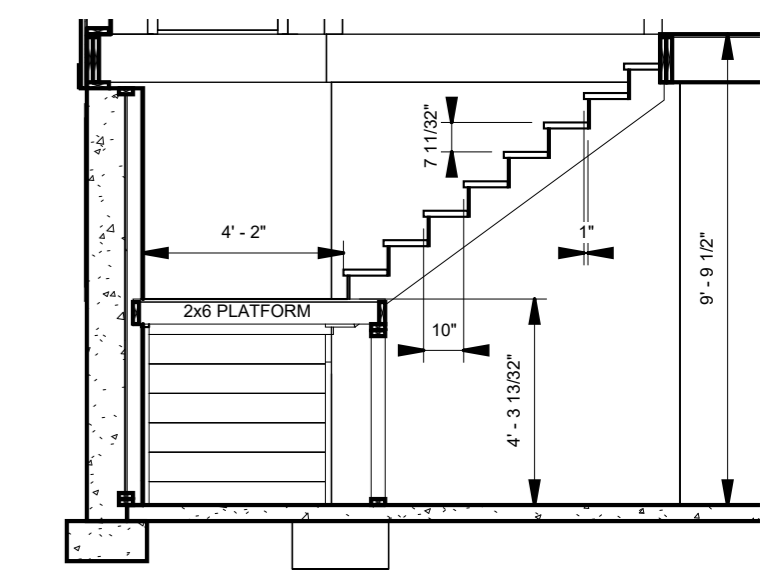
BUILDER: WINONA HOMES
CUSTOMER: DECKLEVER
29282 LAKE AVENUE WAY
FRONTENAC, MN 55026
TSM: BW
MODEL: 31'6"/57'6"x44" "C" RANCH

REVISIONS				
DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1/2/24	FP/ELEV REV	CS		
1/31/24	FULL PKGE	GK		
12/4/23	FP/ELEV	GK		

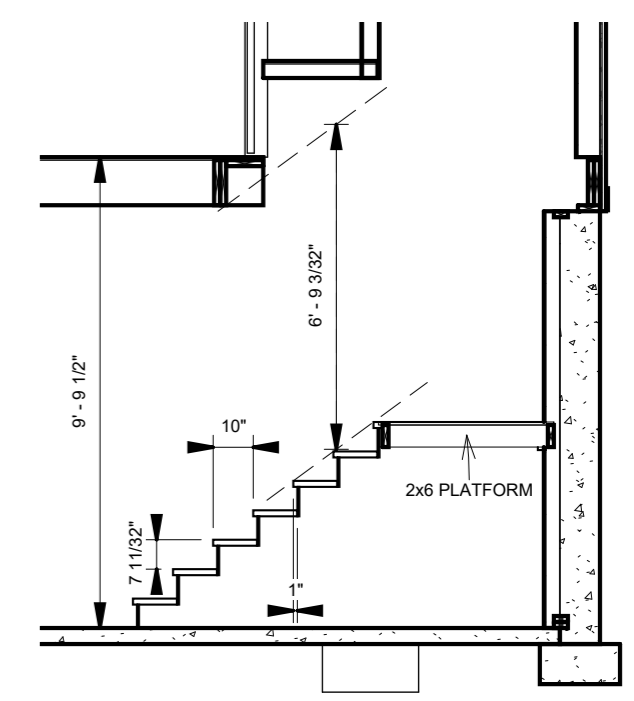
TITLE: EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"
PAGE: A301



1 BUILDING SECTION
3/8" = 1'-0"



2 STAIR SECTION 1
1/4" = 1'-0"



3 STAIR SECTION 2
1/4" = 1'-0"

17x22 Distribution

— CABINET	— PLUMBING
— DECKS	— ROOF
— DOORS	— SAWROOM
— ELECTRICAL ROUGH-IN	— SIDING
— LINE	

11x17 Distribution

— CABINET	— PLUMBING
— DECKS	— Q.C.
— ELECTRICAL ROUGH-IN	— ROOF
— ENDWALLS	— SAWROOM
— FOREMAN	— SHIP LOOSE
— LINE	— SIDEWALLS
— OFFICE	— SIDING

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QUOTE:
Q23-131
SN: SN

BUILDER: WINONA HOMES
CUSTOMER: DECKLEVER
29282 LAKE AVENUE WAY
FRONTENAC, MN 55026
TSM: BW
MODEL: 31'6\"/>

DATE		DESCRIPTION	BY	DATE		DESCRIPTION	BY
1/31/24		FULL PKGE	GK				

TITLE: BUILDING SECTION
SCALE: As indicated
PAGE: S100

MAP 01: PROPERTY OVERVIEW



PLANNING COMMISSION

PAC Meeting
April 15, 2024

Rose & Wayne Decklever (Owners)

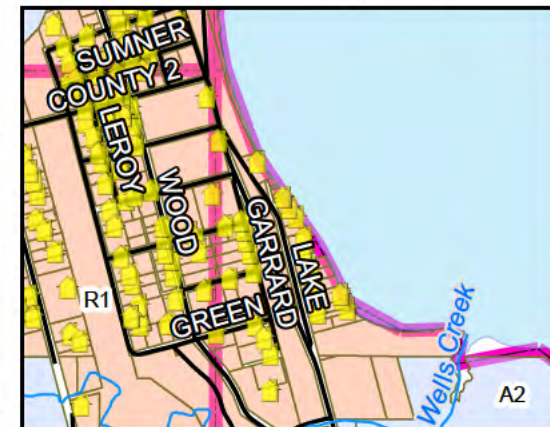
R-1 Zoned District

Lot 1 Block 8 of the Town of Frontenac plat
in Florence Township

CUP request to elevate a proposed dwelling
above the BFE by means other than fill

Legend

Intermittent Streams	Blufflands
Protected Streams	30% Slope or Greater
Lakes & Other Water Bodies	Bluffland Protected Soils
Shoreland	FEMA Flood Zones
Historic Districts	2% Annual Chance
Parcels	A
Registered Feedlots	AE
Dwellings	AO
Municipalities	Floodway



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MAP 01: PROPERTY OVERVIEW

PLANNING COMMISSION

PAC Meeting
April 15, 2024



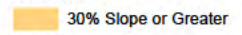
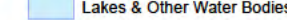
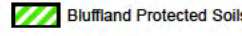
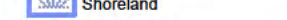
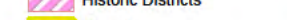
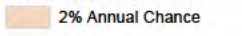
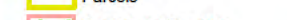

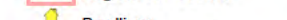

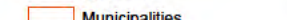
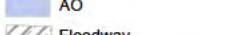

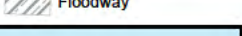
Rose & Wayne Decklever (Owners)

R-1 Zoned District

Lot 1 Block 8 of the Town of Frontenac plat
in Florence Township

CUP request to elevate a proposed dwelling
above the BFE by means other than fill

Legend

 Intermittent Streams	Blufflands
 Protected Streams	 30% Slope or Greater
 Lakes & Other Water Bodies	 Bluffland Protected Soils
 Shoreland	FEMA Flood Zones
 Historic Districts	 2% Annual Chance
 Parcels	 A
 Registered Feedlots	 AE
 Dwellings	 AO
 Municipalities	 Floodway



0 10 20 40 60 US Feet

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MAP 02: VICINITY MAP



PLANNING COMMISSION

PAC Meeting
April 15, 2024

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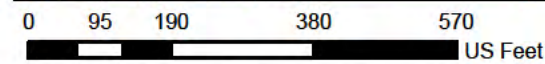
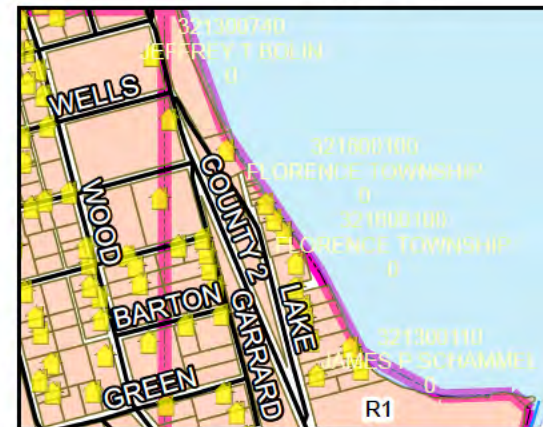
R-1 Zoned District

Lot 1 Block 8 of the Town of Frontenac plat
in Florence Township

CUP request to elevate a proposed dwelling
above the BFE by means other than fill

Legend

- | | | | |
|--|----------------------------|--|---|
| | Intermittent Streams | | Blufflands
30% Slope or Greater |
| | Protected Streams | | Bluffland Protected Soils |
| | Lakes & Other Water Bodies | | FEMA Flood Zones
2% Annual Chance |
| | Shoreland | | A |
| | Historic Districts | | AE |
| | Parcels | | AO |
| | Registered Feedlots | | Floodway |
| | Dwellings | | |
| | Municipalities | | |



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PLANNING COMMISSION

PAC Meeting
April 15, 2024

Rose & Wayne Decklever (Owners)

R-1 Zoned District

Lot 1 Block 8 of the Town of Frontenac plat
in Florence Township

CUP request to elevate a proposed dwelling
above the BFE by means other than fill



Legend

- | | | | |
|--|----------------------------|--|-------------------------------------|
| | Intermittent Streams | | Bluff Impact Zones (% slope) |
| | Protected Streams | | 20 |
| | Lakes & Other Water Bodies | | 30 |
| | Shoreland | | FEMA Flood Zones |
| | Historic Districts | | 2% Annual Chance |
| | Parcels | | A |
| | Registered Feedlots | | AE |
| | Dwellings | | AO |
| | Municipalities | | X |



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